

Kilfinane Market House Conservation Report

20th November 2023



JAMES
BOURKE ARCHITECTS

Attiquin, Castlemartyr, Co. Cork Tel:0214667073
Email: info@jbarch.ie

Contents

1.0	Introduction	3
2.0	Outline Historical Overview	4
3.0	Current Description	11
4.0	Assessment of Significance	13
5.0	Proposed Work:	13
6.0	Conservation Impact of Proposed Works.	15
7.0	Photographic Record.	16
8.0	Outline Scope of Works..	20
9.0	Heritage Protection and Methodologies	22
10.0	Drawings.	26

Appendix A: Punch Engineering structural report.

1.00 Introduction

This report has been prepared by James Bourke Architects who were commissioned by Limerick City and County Council to inspect the former Market House in Kilfinane in support of a Part 8 Application for alterations and extensions to facilitate a new use. Kilfinane Market House is included in Limerick City and County Council's Record of Protected structures (RPS No. 1324). It is also included in the National Inventory of Architectural Heritage (Reg. No. 21812005).

A site visit to inspect and record the building was carried out by James Bourke Architects on the 7th November 2023.

Figure 1: Heritage Map, indicating inclusion on NIAH. The building is also included on Record of Protected Structures.



2.00 Outline Historical Overview

Kilfinane Market House is an end of terrace, three bay, two storey ashlar sandstone building sited at the main square in Kilfinane at the junction with Captains Lane. Listed in NIAH as constructed circa 1760, it is recorded in use by 1765.

The arcaded ground floor was the town's market house, the upper floor use for assemblies and meetings.

It is referred to in 1837 in Samuel Lewis Topographical Dictionary as ' a large and commodious building and was substantially repaired in 1836'.¹ Lewis further notes 'the town of Kilfinane consisted of two principal and several smaller streets, containing 314 houses, many of which are large and well built, and is the property of R. Oliver Gascoigne Esq. ... The inhabitants are mostly engaged in agricultural occupations a few in weaving of linen and cotton,..... The market is on Tuesday, and is well attended; fairs, for farming – stock and implements, are held on May 19th, Aug 9th and Oct 28th.¹ The name of the architect is unknown.



Figure 2: First edition OS map, surveyed pre1841

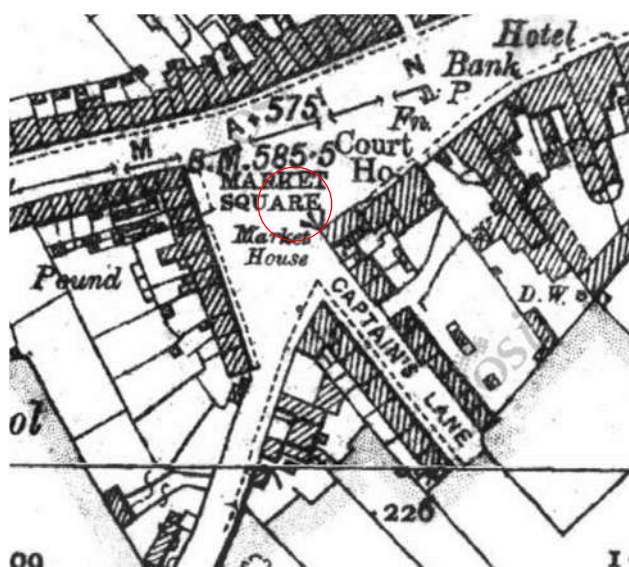


Figure 3: 25 " OS map, c.1903

¹ Lewis, Samuel, *A Topographical Dictionary of Ireland*, (1837)

The design of Kilfinane Market House is characteristic of the typical early 18th century market house, which would have had an open arcaded ground floor and meeting room over. The scale and elaborateness of the design varied considerably, depending on budget and aspiration of those involved. All are square or rectangular in plan, with stairs at the back (or occasional to the side as Wexford) leading to a rustic assembly room. The floor is typically carried on the external arcades only.

As described in McCullough and Mulvin's 'A Lost Tradition' new 18th and 19th century Market Houses

*'cannot be separated from their context of small formal landlord towns; they were built as architectural set pieces of textbook perfection to give focus, character and image of communal activity, to low squares an in quite backwaters. Their message is concerned with demonstrating, in a paternalistic fashion, the bounty of the local landlord and his importance in the social hierarchy. They were used in Ireland as the centrepiece for cattle markets, which spread through the surrounding street or square, and as the towns 'good room' for assemblies, meetings and public occasions.'*²

These market house buildings were generally erected on the site of existing marketplaces as a formal civic presence often, though not in this instance, literally in the centre of the open market place as architectural setpieces.

A comparative elevational study of the market house typology is presented in 'A Lost Tradition' demonstrating the variety of treatment and scale employed. Kilfinane site clearly in the more modest end of this with strong parallels with Castlemartyr.

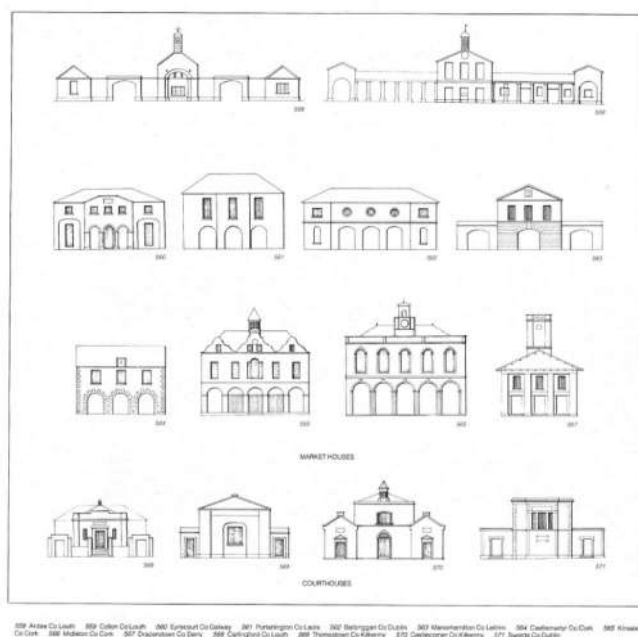


Figure 4: Comparative elevations market houses 'A Lost Tradition' p87

2 McCullough and Mulvin, 'A Lost Tradition', (1987)

Kilfinane's 3-bay configuration is similar to a number of other relatively modest surviving market house in Ireland including Charleville Court and Market House, Kildare and the market houses in Kildare, Kenmare and Blacklion.



Kildare



Charleville



Kenmare



Blacklion

The corner street setting, the building as an end of terrace forming a bookmark to the end of the street, also occurs in the Market House at Blacklion and Kenmare. In the case of Blacklion and Kilfinane the building is set forward on the street line to allow the arcade to continue on all three sides and emphasise its importance in the streetscape.

These buildings all express their civic importance with elevations of cut stone and well-ordered proportion. The more modest buildings like Kilfinane, retain their formality but with the combined use of cut stone and render.

The building has had a number of uses recorded. Initially the market house (fairs and Tuesday markets were held in Kilfinane until the 20th century), it was also used as courthouse with Courts Lee and Courts Baron held in it with jurisdiction over the lands of the manor of Kilfinane, dealing with legal and land ownership issues. The adjoining building to the northeast is shown as a courthouse in the 1903 OS map and the insertion of a doorway at ground floor (now blocked) between the two buildings likely dates from the two properties were used together for this purpose. Local sources report that the building was occupied as a private boy's secondary school in 1950s, operating over two floors with an internal stair but no evidence of this stair survives. Later in the 20th century it served as an animal foodstuff store for a general merchants located across the square. This appears to have been its last use before dereliction.

There are a number of historic references to the Kilfinane Market House. Notably it hosted the visit of the founder of the Methodist Church, Reverend John Wesley, who is recorded as preaching there on several occasions between 1765 and 1789.

On 17th July 1765 he wrote in his journal, '*At seven I preached in the Market House at Kilfinane (Co Limerick). Well high all the town, Irish, English and Germans, protestants and papists, presently gathered together. At first, most of the Papists stood aloof; and so did several of the genteeler people: but by degrees they drew in, and mixed with the congregation*'³

He had been invited by the prosperous Palatines, descendants of refugees from the Palintate of the Rhine in the 16th Century who had settled in Rathkeale initially and from where they were brought by landed proprietors to other estates in Co Limerick some of whom settled in Kilfinane and the adjoining area.

It was associated with, and possibly built by, the Oliver family who occupied the nearby Castle Oliver from the 17th century until it was ruined in the early 20th century. They held seats in parliament represented the borough of Kilmallock at various periods between the years 1703 and 1799. Much of the present layout of the town owes its presence to them.

³ quoted by Robert O'Boyle in The Irish Aesthete

They also commanded a local military force and acted as magistrates in the local court and it is in this context that they are connected (in a very negative light) with the Staker Wallis story.

Staker Wallis:

Patrick Staker Wallis was a member of the United Irishman and participated in the 1798 rebellion and was executed in Kilfinane shortly after the rebellion. He was captured and tortured by Captain Charles Silver Oliver and after considerable brutality over several days was hanged and his severed head displayed on a spike over Kilfinane market house.

A history of the Staker affair '*Staker Wallis His Life and Times and Death*' 1994 by Mainchin Seoighe provides a detailed account of the historic event. A memorial stands in the square commemorating him. A traditional ballad '*The Death of Staker Wallis*' was later published by Frank Roche (1886-1961).

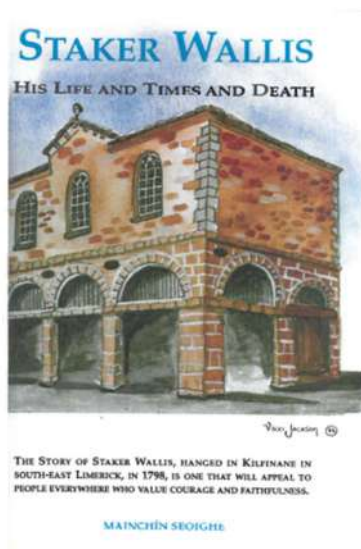


Fig: 5. Cover '*Staker Wallis His Life and Times and Death*' 1994 by Mainchin Seoighe



Fig:6. Undated photograph of Kilfinane market House from by Mainchin Seoighe's '*Staker Wallis His Life and Times and Death*' (p40)

Historic Photographs:



1927. Ground floor arches enclosed. Former school house on Captains Lane visible on right.



c. 1950 Market House roof appears intact. Former National school on Captains Lane (now demolished) in foreground.



1952. The Sacred Heart Grotto with Market House in the Background. Roof is intact but broken glass to first floor indicates the building a possibly not in use.



1956. PTAA going on an Outing to Cork



1972 . John Landers with his sister Nora Kenneally at the Sacred Heart Grotto with the Market House in the background. The building appears largely unaltered since 1950 with roof intact. Some deterioration of the rendered eaves detail is evident .



1990s Kilinane Aerial View. Market House visible in bottom left corner. Roof possibly missing but image unclear.

3. 00 Current Description:

The main body of the building is in a very poor state of repair, the upper floor having collapsed with only a side and rear wall at this level surviving. The ground floor arcade is also in poor repair requiring significant structural intervention to strengthen and stabilize it (Refer to structural report by Punch Engineering, Appendix A). The external stone access stair and flanking wall to the rear is similarly in poor condition.

The main Market House building has three arched bays to the front elevation and single bays to the side.

The ground floor walls to the front and side elevations of the main building are of dressed ashlar sandstone, with projecting impost, flush voussoirs and platband over. There is a render finish to the surviving first floor walls.

Although originally open the arches, with projecting dropped keystones, were later filled in to suit new uses for the building. The flanking arches to the front are now partly filled with rendered masonry walls to impost level and open above. A limestone coping/string course has been inserted at this level to align with the projecting impost presumably at the time the openings were filled in. Formerly the upper arched area of the opening contained with a framed vertical louvered arrangement, but it is difficult to establish if there was glazed behind or open and vented. The central arch is now open, previously containing a pair of vertically timbered doors with solid infill panel over.

The single arches to the two side elevations were likely originally similarly treated though the northeast was subsequently fully enclosed in red brick at high level and the southeast with rubble.

The string course in the filled-in arches, although of dressed stone and intended as a visual continuation of the original impost course, is a later addition and there is evidence in a number of places that the stones have been repurposed from elsewhere in this or another building.

The rear wall of the upper floor, of rendered coursed rubble, remains substantially in place with a centrally located chimney, access doorway to the southeast corner at first floor and a first floor window. At ground floor level internally, the back wall contains an arched niche axially located and an asymmetrically located small fireplace. A central fireplace is located on the upper floor. The centralized location of the fireplace suggests the upper floor contained a single chamber accessed externally from the southeast corner. Putlog holes above the head level of the arches indicate the location of the original timber floor structure.

A single doorway now blocked remains in the party wall with the former courthouse to the northeast.

A wide opening (approx. 1.8m high) with a repurposed railway sleeper as lintel has been formed in the southwest elevation presumably to provide vehicular access in the past.

There is some ambiguity above this as to the earlier wall construction in this area. There is partial residual evidence of a brick arch, but this does not align with the arched openings elsewhere and could relate to an earlier opening or a relieving arch of some form.

Pattress plates and ties from back to front elevation have been inserted at first floor level at some stage to stabilise the structure.

There is a small external yard area accessed from the southwest elevation on Captains Lane. This is enclosed by a random rubble wall, render capped, with pedestrian gate. There is an additional approx. 2m x 2m opening formed in the boundary wall with repurposed railway sleeper as lintel. A sandstone external stair runs along the back wall of the Market House which provides access to the original meeting room doorway at first floor. This is in poor state of repair with loose and displaced stone treads. The lower part of the steps is concealed by approx. 1m of debris for the collapsed building. The flanking stair wall is of random rubble construction with a half round rendered capping but is unstable with significant areas of the wall missing on the external side facing onto an open rear area. The top landing of the stair has scar evidence of an earlier pitched roof lobby enclosure over the doorway.

There is a remnant of the rendered eaves cornice detail above the door location at the abutment to the neighbouring gable which concurs with that visible in the historic photographs.

A render capped rubble boundary wall encloses the back of the yard. There is the unroofed remnant of a former small outbuilding to the southeast. The form and remaining fabric here suggest it was formerly a toilet area.

The pedestrian opening to the yard has a decorative wrought iron gate, date unknown, which includes a depiction of Staker Willis.

Photographic evidence shows the roof and upper part of the building intact as late as 1972, complete with decorative cornice and gable profile. These photographs also provide evidence of the original, or at least early, multi-pane timber sash windows to the upper floor of the market house with distinctive intersecting bars.

4.00 Assessment of Significance

The Market House is of architectural and social significance. Its architectural significance owes both to its contribution to the town through its presence on the main square and the quality of its design and construction. Its social significance includes its connection to the 1798 rebellion, John Wesley and its central role historically in the commercial and social life of the town. It is fine mid eighteenth-century example of the rural market house typology of Ireland. Although in a poor state of repair it retains many of its significant features including the arcaded open ground floor, external access stairs and high-quality construction materials. The building has always had an important civic function and has considerable potential for reuse.

The NIAH Appraisal rates it of regional importance and reads:

'This former market house once formed the centre of commercial, social and historical activity in Kilfinnane. Courts were held here to deal with legal and land ownership issues. Fairs and Tuesday markets were held until the twentieth century. The founder of the Methodist Church, Reverend John Wesley, preached here on several occasions between 1765 and 1789. He was invited by a family of Protestants from the Rhine who had settled in the area. Despite the building's current ruinous state, it retains material evidence of its formerly imposing and impressive sandstone arcaded façade and makes an important contribution to the streetscape'.

5.00 Proposed Work:

The proposed work involves adaptive reuse of the Market House as a community building including the repair and restoration of surviving fabric of the building, the enclosure of the ground floor, the reinstatement of the lost upper floor and roof (on a like-for-like basis based on historic evidence and avoiding speculative reconstruction) and the addition of a contemporary two-storey extension to the rear.

The structural report by Punch Consulting Engineers in August 2023 makes a series of recommendations for the stabilization of the existing stone structure including, amongst others, the retention of existing tie rods and the insertion of an additional rod to the front wall, the tying together of the front three arches with additional ties and anchor plates, the partial removal and the rebuilding of walls over arches where voussoirs or dropped stones are identified. The rear stone steps and associated walls would need to be assessed when the debris is removed from the site to allow structural recommendations. It should be noted that this report was intended to address the stabilization of the derelict structure without consideration of possible additional development. The current design proposes the reuse of the masonry ground floor structure as loadbearing element for new masonry construction and roof structure above. A revised structural report and recommendations should be commissioned to investigate the feasibility and implications of this.

If unavoidable the existing stone structure may require to be recorded, carefully taken down and reconstructed. This methodology was used in The Main Guard Clonmel by Margaret Quinlan Architects for OPW in the adaptation to the Clonmel Museum in 2004 where the arches were rebuilt for the ground up and would be considered acceptable conservation practice if necessary.

Four of the open archways will be infilled with contemporary frameless glass and the central arch enclosed with new hardwood entrance doors.

A new doorway will be formed in the rear wall in the southeast corner to provide access from the new rear extension.

The proposal includes the rebuilding of the upper floor level in modern masonry construction but with lime-based render external finish. The existing entrance doorway will be reused and an additional doorway formed at this level in the southeast corner of the back wall, in the location of an existing window, to provide access for disabled visitors.

A cut timber hipped roof of natural slate finish, with overhang and a coved eaves detail to replicate the original detail is proposed. Samples of the original slate and clay ridge tiles have been found on site and these will be used to inform the selection of finishes to match the original. Conservation grade cast metal rainwater goods will be used.

Conservation grade painted timber sliding sash windows will be provided to the upper floor with bespoke intersecting glazing bar configuration matching that evident in the photographic records.

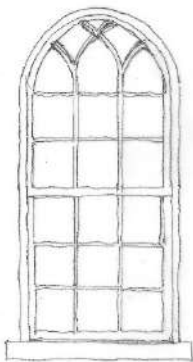


Fig.7: Sketch of typical window configuration based historic photographs.

A new wide plank timber floor structure will be inserted in the position of the original floor.

A two-storey rear extension is proposed in the existing external yard. This will enclose the rebuilt stone stairs and contain a new lift and visitable wc facilities on each floor. The existing stone boundary walls will be retained and rebuilt on the ground floor with new masonry construction above. A contemporary elevation treatment with full height glazing and a zinc parapet is proposed for the upper floor onto Captains Lane, set back behind the line of the existing stone wall below.

6.00 Conservation Impact of the Proposed Works

The aim of the proposal is to rescue the Market House Kilfinane from dereliction and to allow it to function as a modern community facility. One of the greatest threats to the historic buildings of Ireland is that of disuse. The building is currently in a perilous state of disrepair and at risk of at least further decay to the building fabric or even of permanent loss.

While mindful of the conservation principle of minimum intervention, doing as little as possible to bring the building back into use, the extent of dereliction and collapse requires significant intervention and rebuilding.

The general principle of retention of original fabric will be respected with effectively all remaining fabric either retained and repaired or where necessary carefully recorded, taken down and rebuilt.

The greatest risk of projects of this nature where substantial rebuilding is needed is that of speculative reconstruction. In this case however there is clear historic evidence of the original construction and detail including the window design, the eaves profile, the roof profile and location of original openings. In addition, the survival of original materials such as roof finishes allows accurate replacement on a like-for-like basis.

The addition of contemporary extensions to historic buildings is a well-established principle in best conservation practice and to be welcomed where the new elements are respectful and compliment the original building in scale and form and do not diminish the significance of the historic structure.

Precedents for successful adaptive reuse and contemporary interventions in market houses in Ireland include The Main Guard Clonmel by Margaret Quinlan Architects (2004) and Abbeylax Library by deBlacam Meagher Architects (2010).

Overall the proposal has, of its nature, a high impact on the protected structure but in our opinion, this is a desirable project to bring it back into use.

7.00 Photographic Record.

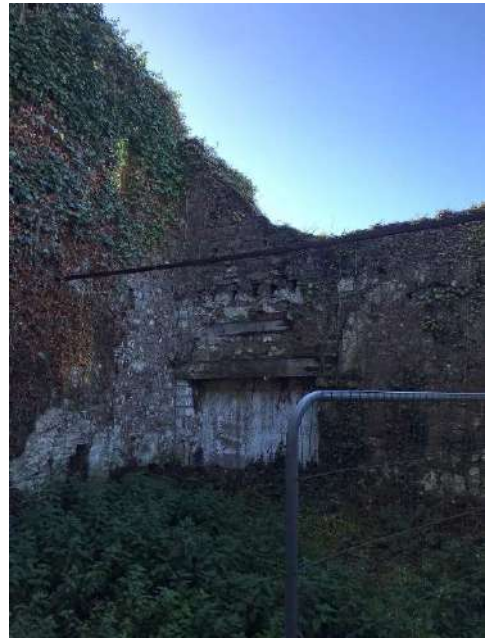
Exterior:





Interior:







8.00

KILFINNANE MARKET HOUSE OUTLINE SCOPE OF WORKS AND SPECIFICATIONS

1.0 ROOF

1.1 Historic photographs give accurate evidence of a hipped roof of natural slate finish, eaves overhanging and a decorative coved eaves stone detail, to be replicated. Samples of a natural slate type, gauge and colour and an original authentic roof ridge tile have been discovered amongst the ground debris. Proposed roof cut timber roof with natural slate finish and ridge tile to match authentic examples: Killaloe or Blue Bangor slate, incorporating a breathable membrane, to be used for entire Market House hipped roof.

1.2 Proposed flat roof to the return of Market House, covering steps and former yard to be cut timber roof with zinc finish. This service area will incorporate an accessible bathroom and a lift addition.

2.0 RAINWATER GOODS

2.1 Allow for new heritage cast rainwater goods, 100mm (4") circular downpipes with ears and 125mm (6") gutters by Hargreaves Foundry or equivalent.

3.0 STONEMWORK: RED SANDSTONE (GALTEE)

3.1 Vegetation to be carefully removed and approved Biocide/Herbicide treatment applied, followed by a low pressure steam wash.(DOFF system or similar approved) to wash off loose debris and organic matter.

3.2 Cement based render to be removed.

3.3 First floor external wall finish rendered with a 3 coat hydraulic lime plaster with the final coat a harling (wet dash) 3-6mm rounded pebble applied with a harling trowel.

3.4 Ground floor walls, red sandstone. Cement based pointing to be raked out and repointed with lime mortars to a flush finish.

4.0 WINDOWS

4.1 Provide 3 no. timber sash windows at first floor level as per accurate historic photographs, sliding sash to be box weighted and draught sealed.

4.2 Insert contemporary fully glazed units into 4 no arches at ground level and 1 no. hardwood set of entrance market house double doors in central arch.

4.3 Selected aluminium glazing system and powder coated panel system to first floor of building return.

5.0 FLOORS

5.1 Ground floor provide flagstone floor finish.

5.2 First floor provide wide plank timber floor finish over timber joists, positioned at existing joist pocket level evidenced in survey. Joist pockets to be inspected by timber decay specialist and treated.

6.0 SERVICES

6.1 Electrical services to facilitate new use, located primarily in circulation/service area.

Mechanical services to facilitate new use, controls located primarily in circulation/service area.
Underfloor heating system to be provided throughout.

Sanitary services provided on both ground and first floor, universal access.

Lift service to access first floor, Premier ecopublic lift with 120mm pit and back located lift system or similar approved suitable for heritage structures.

9.00 Heritage Protection and Methodologies

9.01 Overview of Heritage Protection Legislative Framework

All development should be assessed on consistency with statutory heritage policies, designations, and guidelines. Ireland has ratified European and International conventions in relation to the protection of its built heritage. These, along with a large body of conservation charters and associated conventions and documents, are an essential framework for good practice in the protection and enhancement of the Historic Environment.

Planning and Development Act 2000

The Planning and Development Act 2000 (as amended) requires that Planning Authorities compile and maintain a Record of Protected Structures. The RPS is a mechanism for the statutory protection of our built heritage. A protected structure may be included in the RPS on account of its architectural, historical, archaeological, artistic, cultural, scientific, social or technical importance. Each owner and occupier of a protected structure is legally obliged to ensure that the structure is maintained and protected from endangerment, whether by direct action or neglect.

When a structure is protected the protection includes the structure, its interior, the land within its curtilage and other structures within that curtilage (including their interiors), and all fixtures and features that form part of the interior or exterior of all these structures. All works which would materially affect the character of the Protected Structure, or a proposed Protected Structure, require planning permission even when those works would otherwise be exempt. There is provision under Section 57 of the Act for the owner or occupier of a Protected Structure to seek a Declaration from the relevant planning authority to determine works to the structure that would materially affect its character and therefore require planning permission, and those works that may be carried out as exempted development.

Wildlife Acts

The Wildlife Acts 1976 - 2000 are the principal statutory provisions providing for the protection of wildlife (both flora and fauna) and the control of activities which may impact adversely on the conservation of wildlife and their habitats. The Minister for the Environment, Heritage and Local Government is the Competent Authority for the servicing of a number of wildlife-related international agreements and implements a number of EU Regulations, Directives and International Conventions.

Competing conservation requirements of the natural and the built heritage may give rise to dilemmas. Conservation Rangers from the Department of the Environment, Heritage and Local Government can be consulted and may be able to suggest measures to avoid damage to the habitats of fauna.

National Inventory of Architectural Heritage

The National Inventory of Architectural Heritage is a unit within the Department of the Environment, Heritage and Local Government engaged in compiling an evaluated record of the architectural heritage of Ireland. The NIAH survey was established on a statutory basis by the enactment of the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999.

9.02 Overview of Methodologies

This report has been written in accordance with the ICOMOS Guide to Recording Historic Buildings (Butterworth Architecture, 1990) and the RIAI Guidelines for the Conservation of Buildings, 3rd Edition (RIAI, 2010). As per these guides the first object of a survey should be to record what is necessary in order to understand and illustrate the history of the building in its plan, structure, development, use, and decoration. This enables the architect and client to understand

the structure and to make decisions during the conservation process based on the best information available.

The report is based on site visits, map research, historical research, and visual inspections generally. No opening up work was undertaken to establish the condition of building fabric concealed from view.

9.03 Existing Information Utilised

A set of building survey drawings provided to James Bourke Architects by Limerick City and County Councils prior to this report commencing. Scaled drawings by Limerick City and County Councils architects department of existing and proposed works are included in the appendix of this report.

9.04 Conservation Principles

Research and analysis- The character of the building can only be understood through research and on-site studies. This Report is the outcome of this work, providing a record of the building in its current state. This record promotes an understanding of what contributes to the character of the building and therefore forms guidance for appropriate proposed works which respect and protect this character. Prior to the removal of any historic element the element shall be fully recorded.

Minimum Intervention- The principle of promoting minimum intervention in a protected structure is best summed up by the maxim 'do as much as necessary and as little as possible'. This involves changing as little as possible in order to achieve the design objectives. Furthermore, historic buildings have a patina of age which cannot be replaced. Minor defects such as hairline cracks in the plaster are not necessarily imperfections but are evidence of the building's antiquity. The original fabric will be preserved where possible throughout.

Respect Earlier Alterations of Interest- Different periods of alteration to a building can inform the social and architectural history of built heritage. It is important to respect the contribution of different stages of its development. However, there may be additions which have not enhanced the special interest of the building. Inappropriate interventions which detract from the overall coherence of the building may be removed.

Repair rather than Replace- Where an original feature could reasonably be repaired its replacement will not be permitted. The original fabric will be retained wherever possible. However, replacement will be permitted in circumstances where an original prototype exists but is too badly decayed for repair.

Honesty of repairs - Repairs will be legible as such. The repairs will leave a record of works done and will not be artificially aged to falsify the historical evidence

Honesty of alterations- To meet modern living standards alterations to historic buildings are usually required to ensure their continued use. Careful consideration must be given to ensure that these alterations do not destroy any character defining spaces or features. In general, larger alterations, e.g. extensions should follow the well-established practice of modern intervention in historic buildings and should be contemporary in design to clearly delineate between the old and new sections of the building.

Use of Appropriate Materials – Building materials and techniques used should be compatible with the materials present. In general, historic buildings should be allowed to breathe, and only breathable finishes should be permitted when dealing with historic building fabric.

Reversibility of Alterations – Where possible, works are to be reversible. For example, if a new partition wall is proposed in a room with original cornices it should be constructed with the cornice intact, to allow it to be taken down again in the future if needed without the loss of original fabric.

Building Regulation Compliance – The guiding principle is that where a material alteration occurs it will not cause any new or greater contravention of the building regulations. Any new extensions will be built to meet regulations. Note that Protected Structures are exempt from Part L, Conservation of Fuel and Energy.

Bibliography:

A lost Tradition-The Nature of Architecture in Ireland- Niall McCullough + Valerie Mulvin, Gandon Editions 1987

Approximate Formality-Morphology of Irish Towns Valerie Mulvin, Anne St Press 2021

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The Buildings of Ireland Cork City and County Frank Keohane 2020

National Museum of Ireland iCAN website ouririshheritage.org

The Irish Aesthete July 2023 the irishastethe.com

Buildings Of Ireland , NIAH

Limerick City and County Development Plan RPS

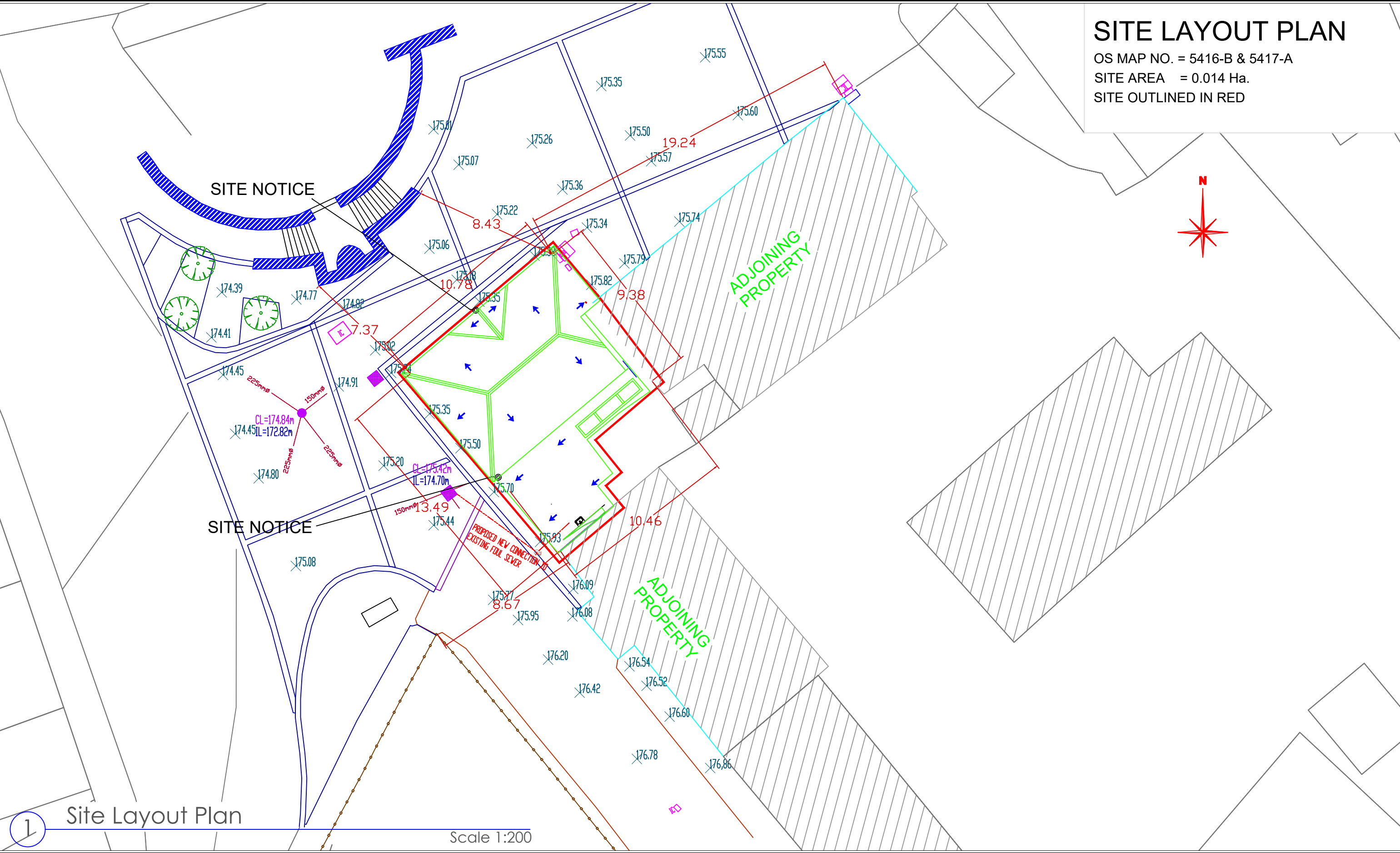
<https://heritagedata.maps.arcgis.com/>

SITE LAYOUT PLAN

OS MAP NO. = 5416-B & 5417-A

SITE AREA = 0.014 Ha.

SITE OUTLINED IN RED



1

Site Layout Plan

Scale 1:200

LIMERICK CITY & COUNTY COUNCIL
Comhairle Cathrach agus Chontae Luimnigh

Limerick City & County Council

COUNTY HALL
Dooradoyle
CO. Limerick

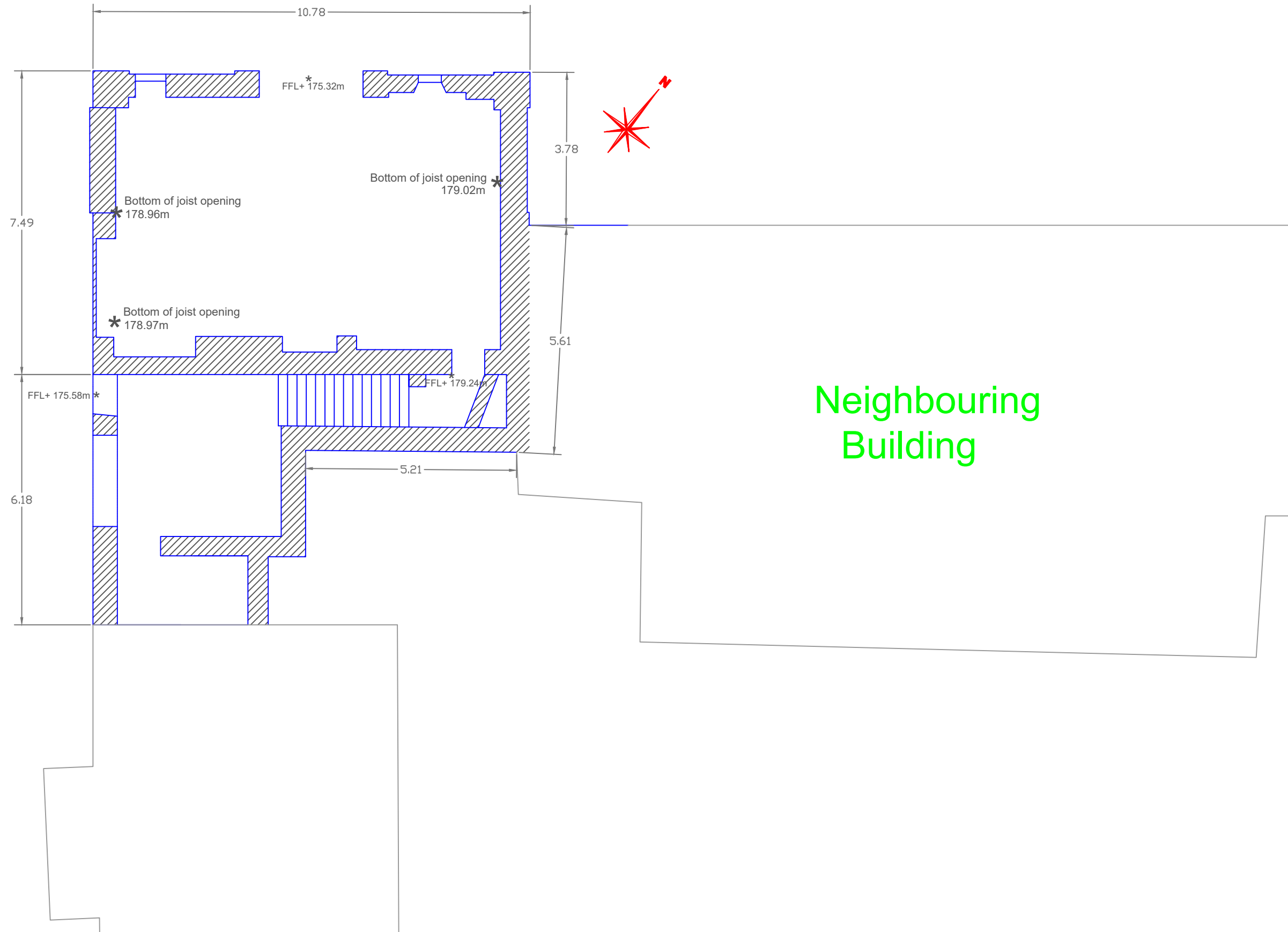
CITY HALL
MERCHANTS QUAY
Limerick

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Rev.	Description	By	Chk.	App.	Date
0	ISSUED FOR INFORMATION				

Project: Kilfinane Market House, The Square, Kilfinnane, Co. Limerick				
Title: Site Layout of RPS 1324 Kilfinnane Market House, Kilfinnane, Co. Limerick.				
Designed: GOD	Stage: DESIGN	NRA Project Ref. No.:	Drawing No.:	Revision:
Drawn: GOD	Scale: 1:200 @A3		23-KMH-102	-
Checked: GM	Date: NOV 2023			

Existing



Neighbouring Building

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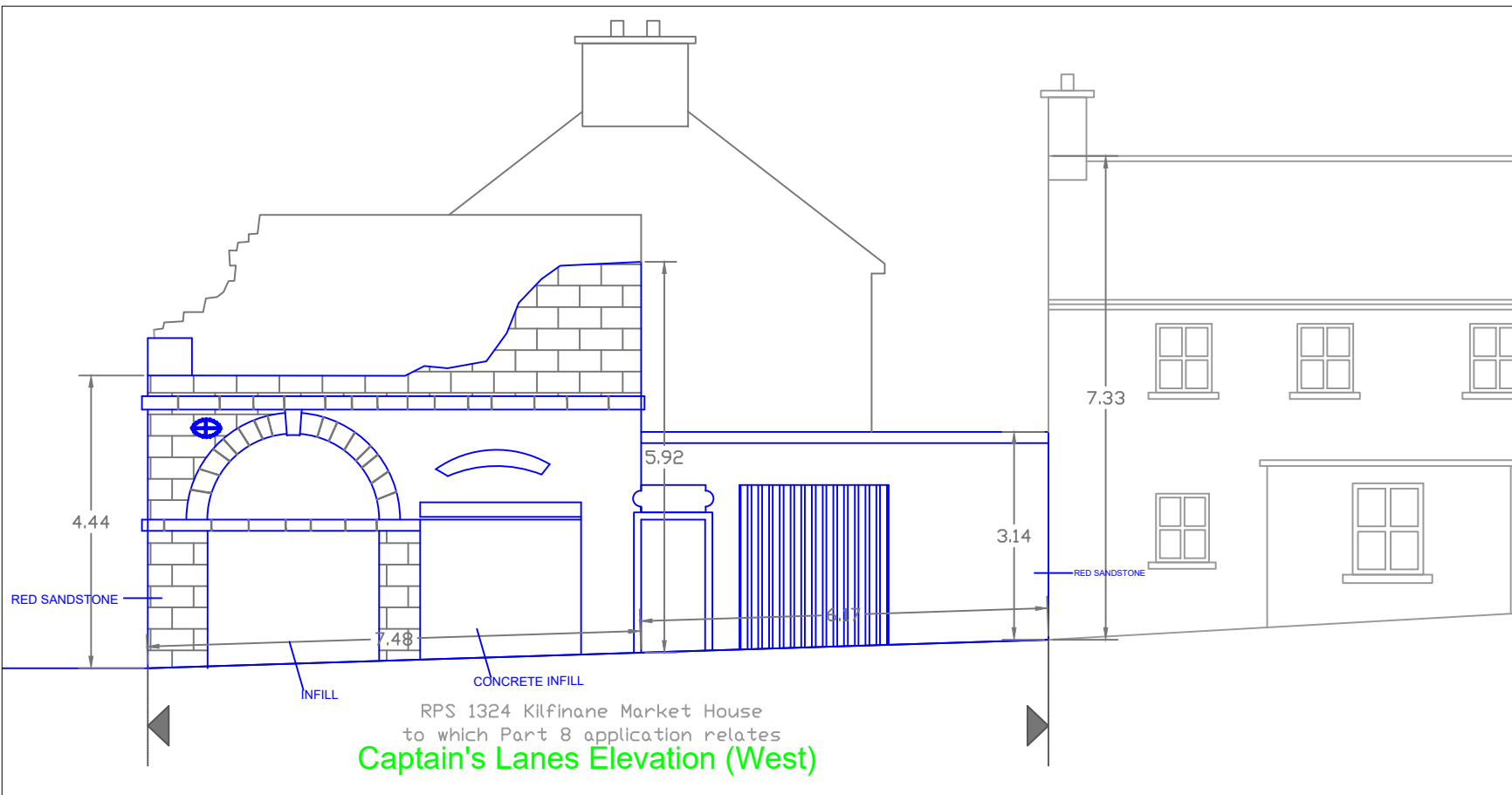
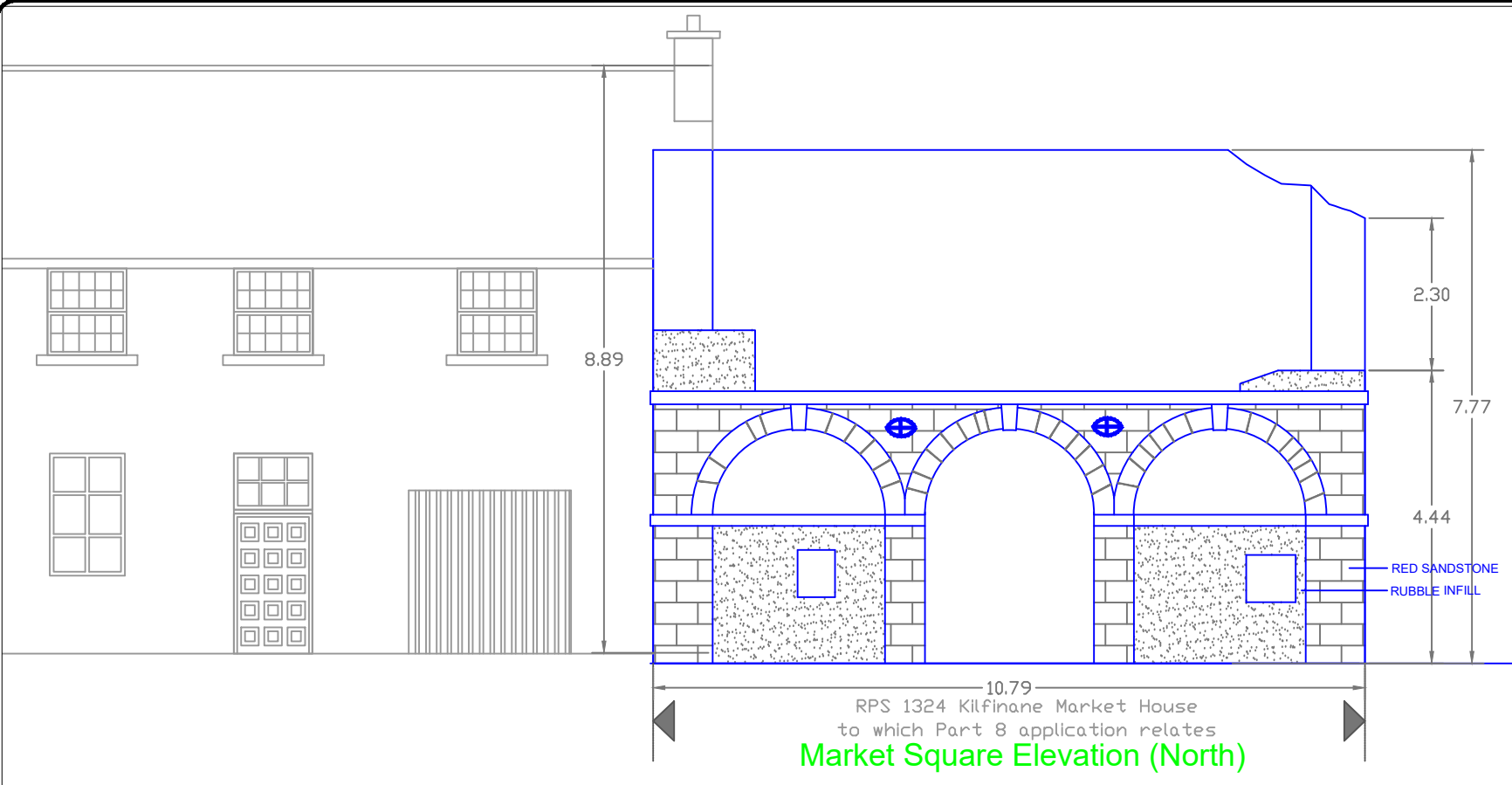
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Title: Existing Floor Plan of RPS 1324 Kilfinane Market House, Kilfinane, Co. Limerick.				
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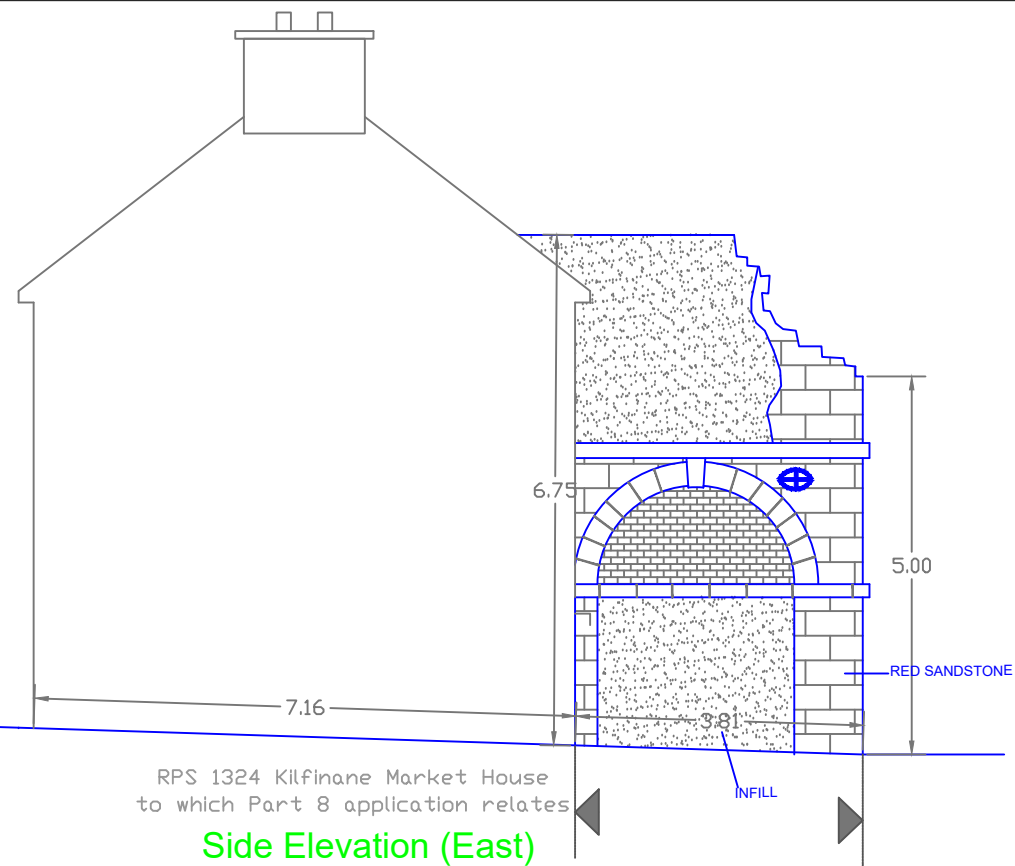
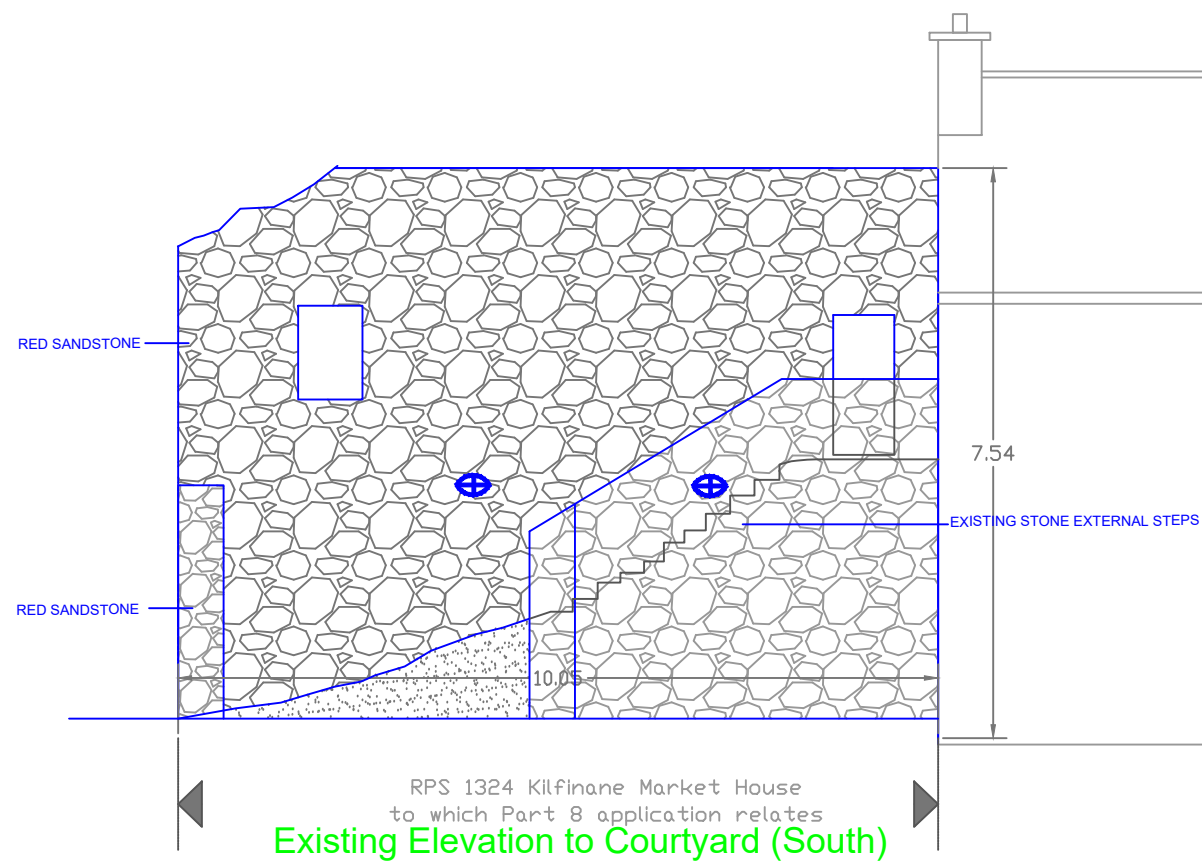
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Title: Existing Elevations of RPS 1324
Kilfinane Market House, Kilfinane, Co. Limerick.

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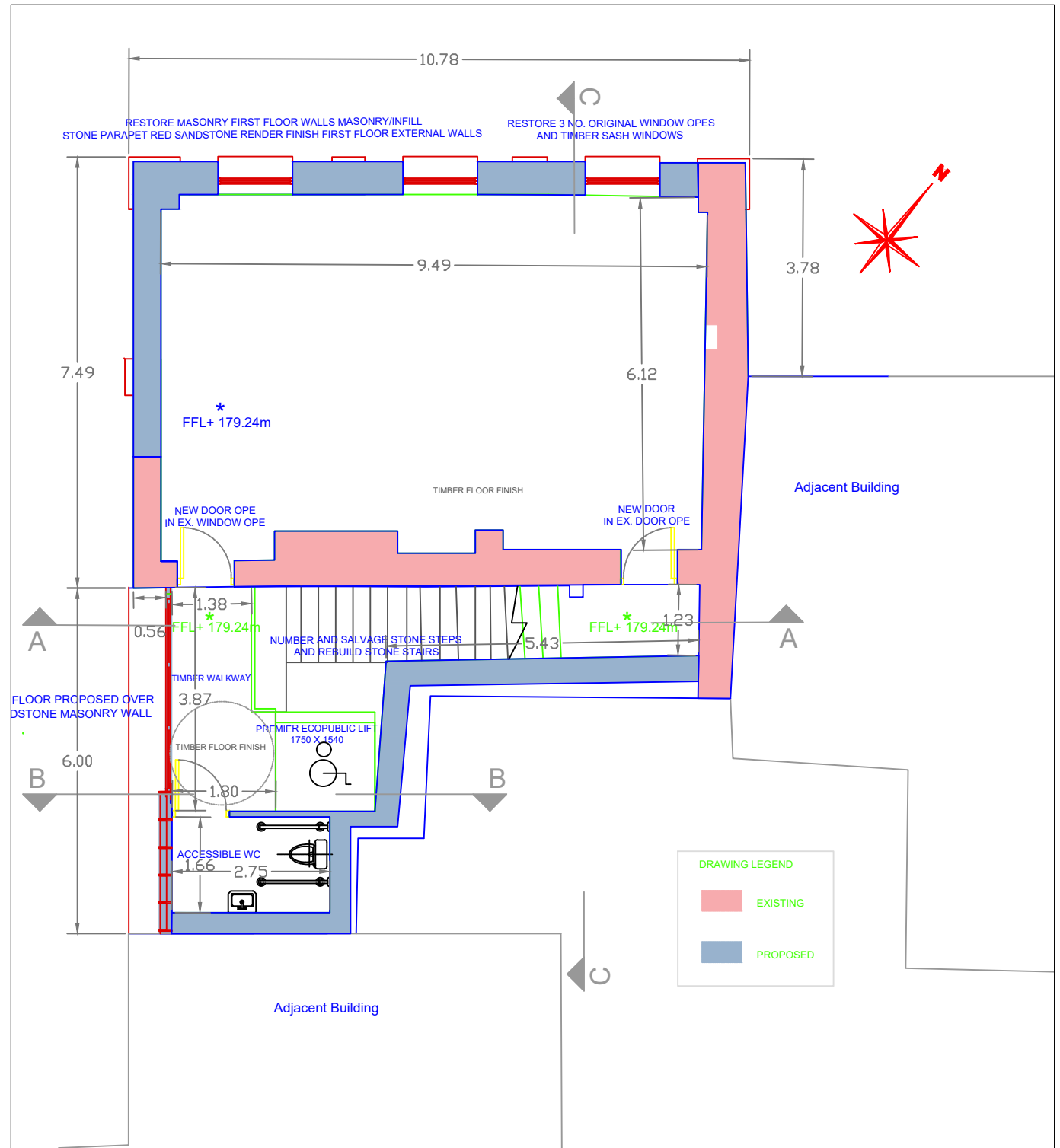
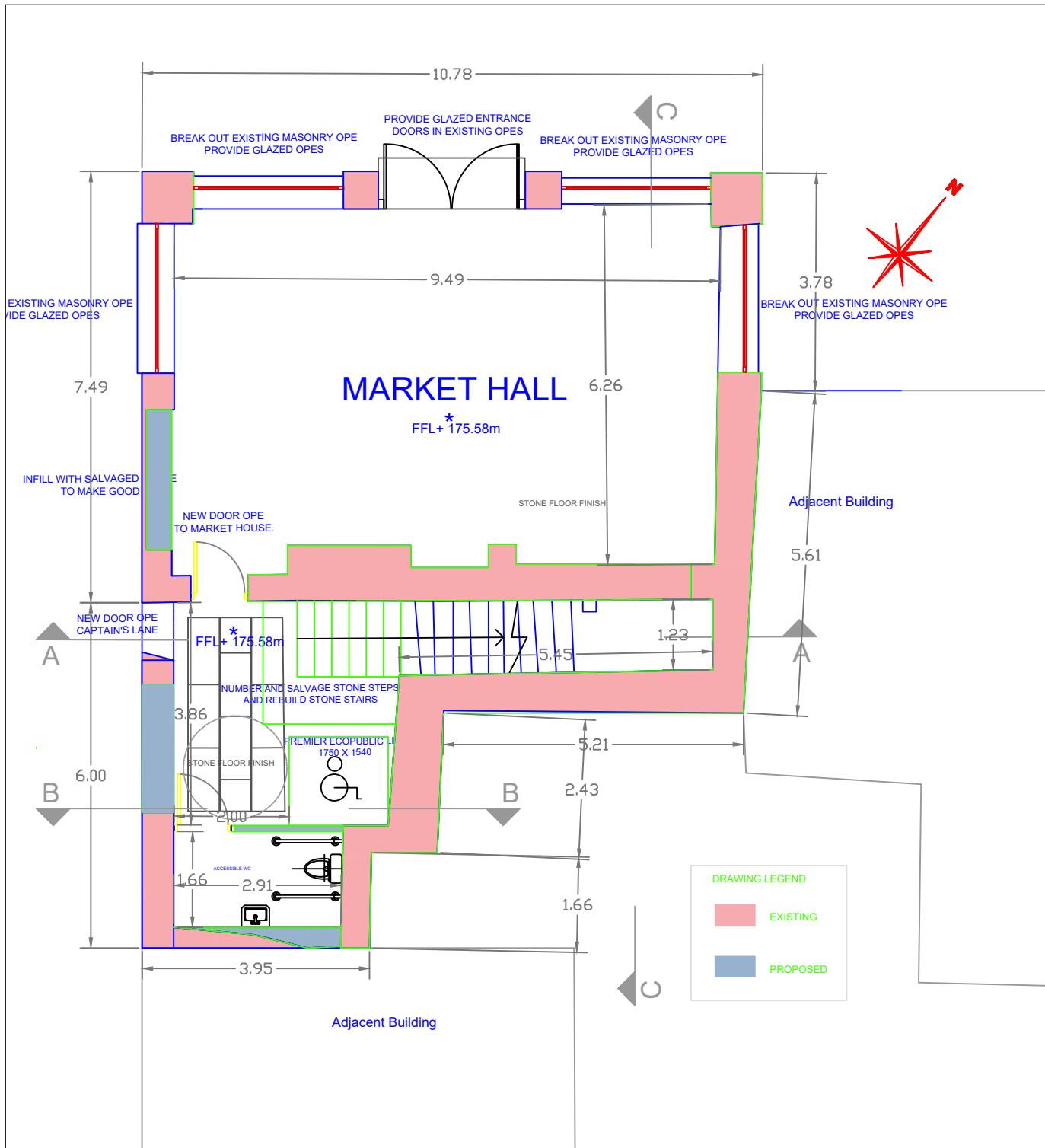


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OUTLINE SPEC MARKET HOUSE:
 Roof: Ridge tile to match authentic ridge tile found onsite. Roof finish natural slate to match sample from site.
 External walls: First floor lime render finish on block work cavity wall. Ground floor existing Red Sandstone and lime mortar pointing.
 First Floor: Painted timber sash simline double glazed to match historical authentic details, per conservation report.
 Windows: Ground floor Timber double glazed panels.
 Doors: Central arched head, hardwood double doors to match historical authentic details, per conservation report.

OUTLINE SPEC CIRCULATION AREA:
 Roof: Lead roof finish and fascia.
 External walls First Floor: Slimline aluminium glazing and powder coated aluminium panels, colour dark grey. Ground floor existing Red Sandstone and lime mortar pointing
 Door: New glazed entrance door in existing ope

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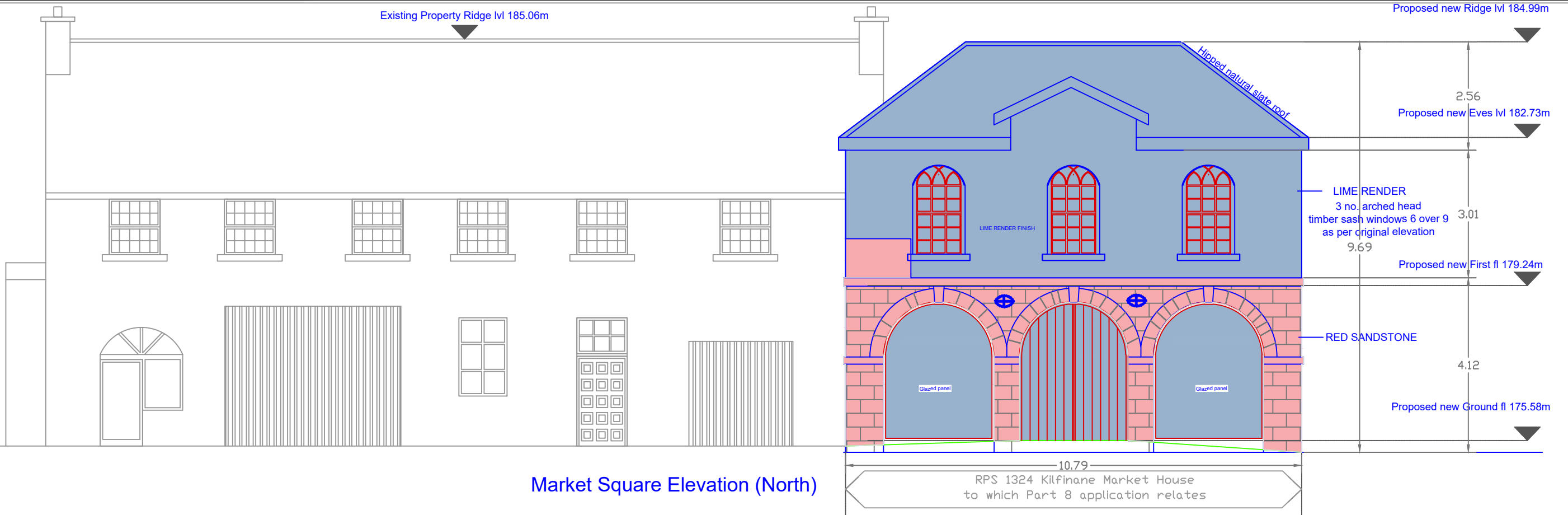
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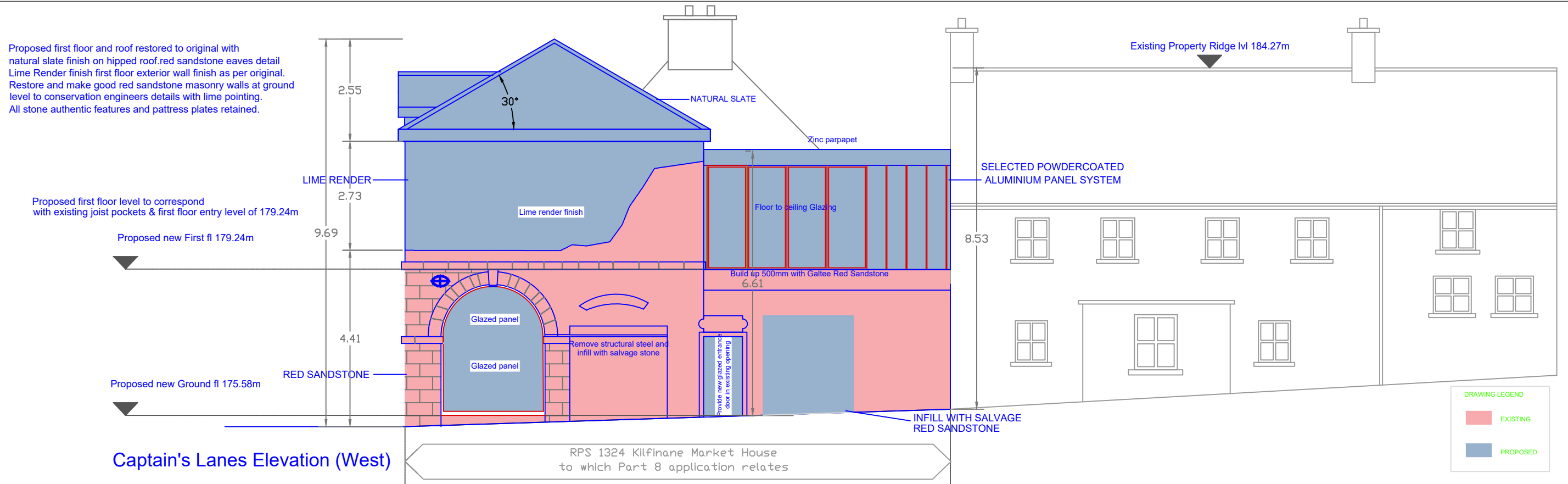
Project: Kilfinane Market House, The Square, Kilfinane, Co. Limerick

Title: Proposed Ground & First Floor Plan of RPS 1324 Kilfinane Market House, Kilfinane, Co. Limerick.

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Market Square Elevation (North)



Captain's Lanes Elevation (West)

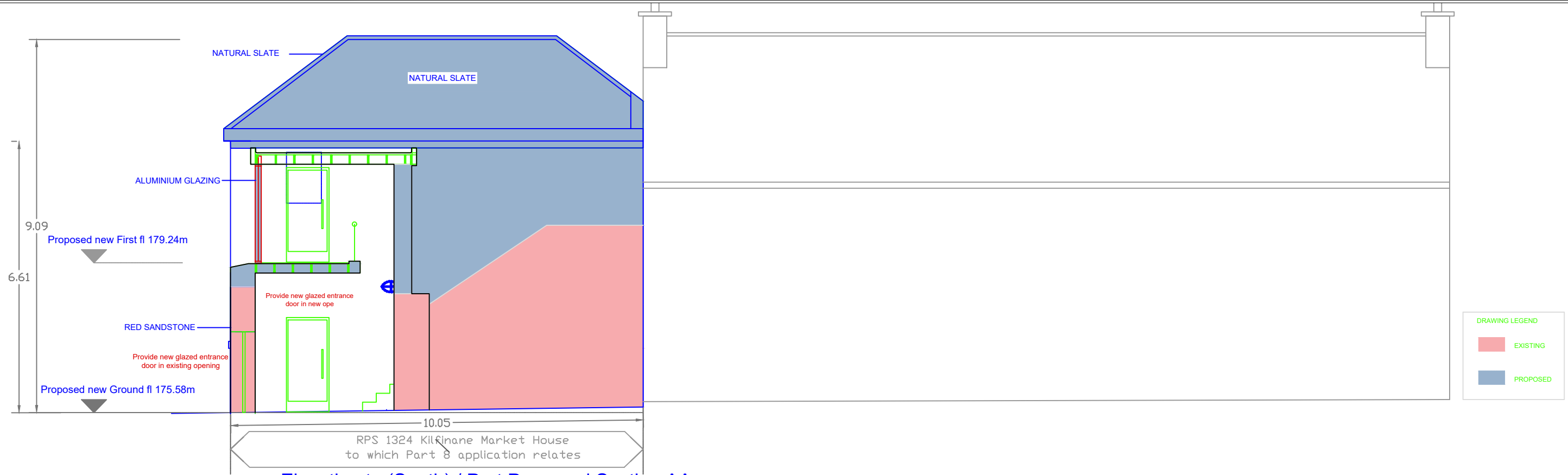


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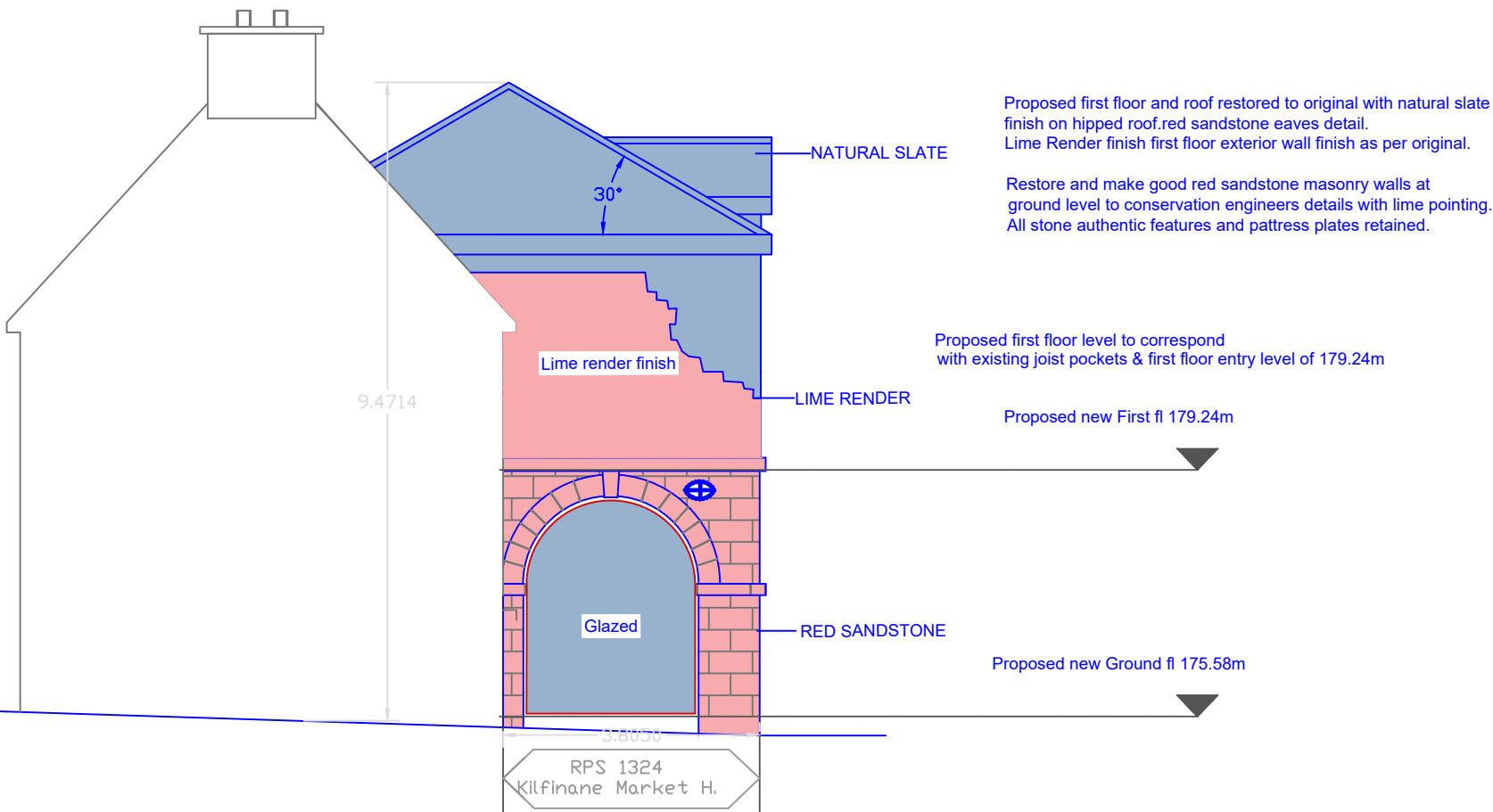
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Elevation to (South) / Part Proposed Section AA



SECTION BB'

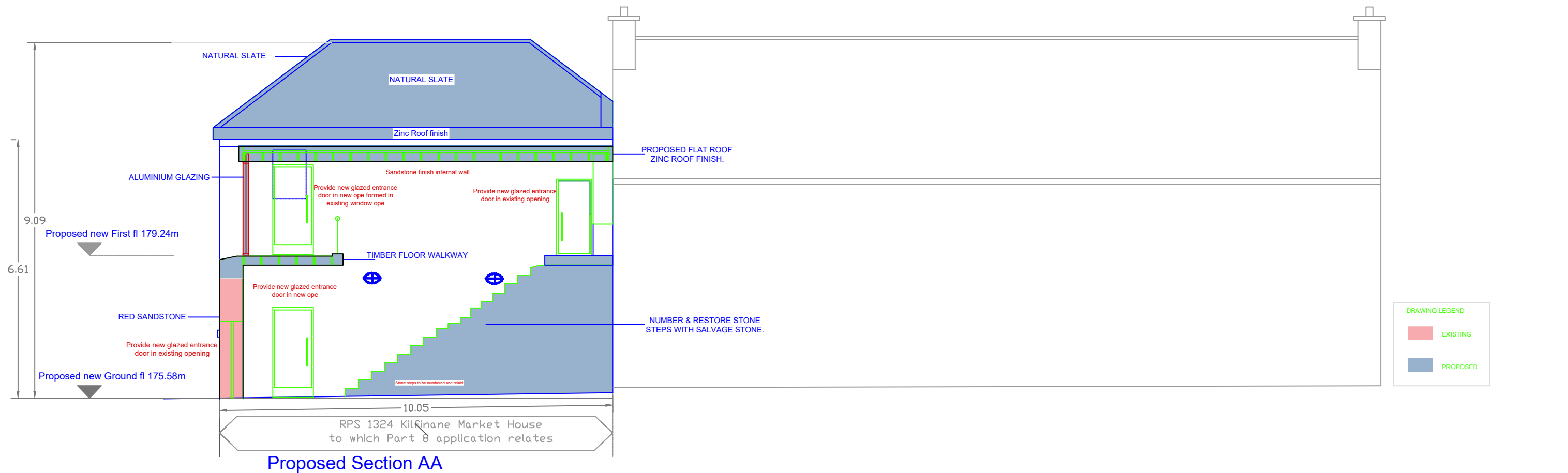
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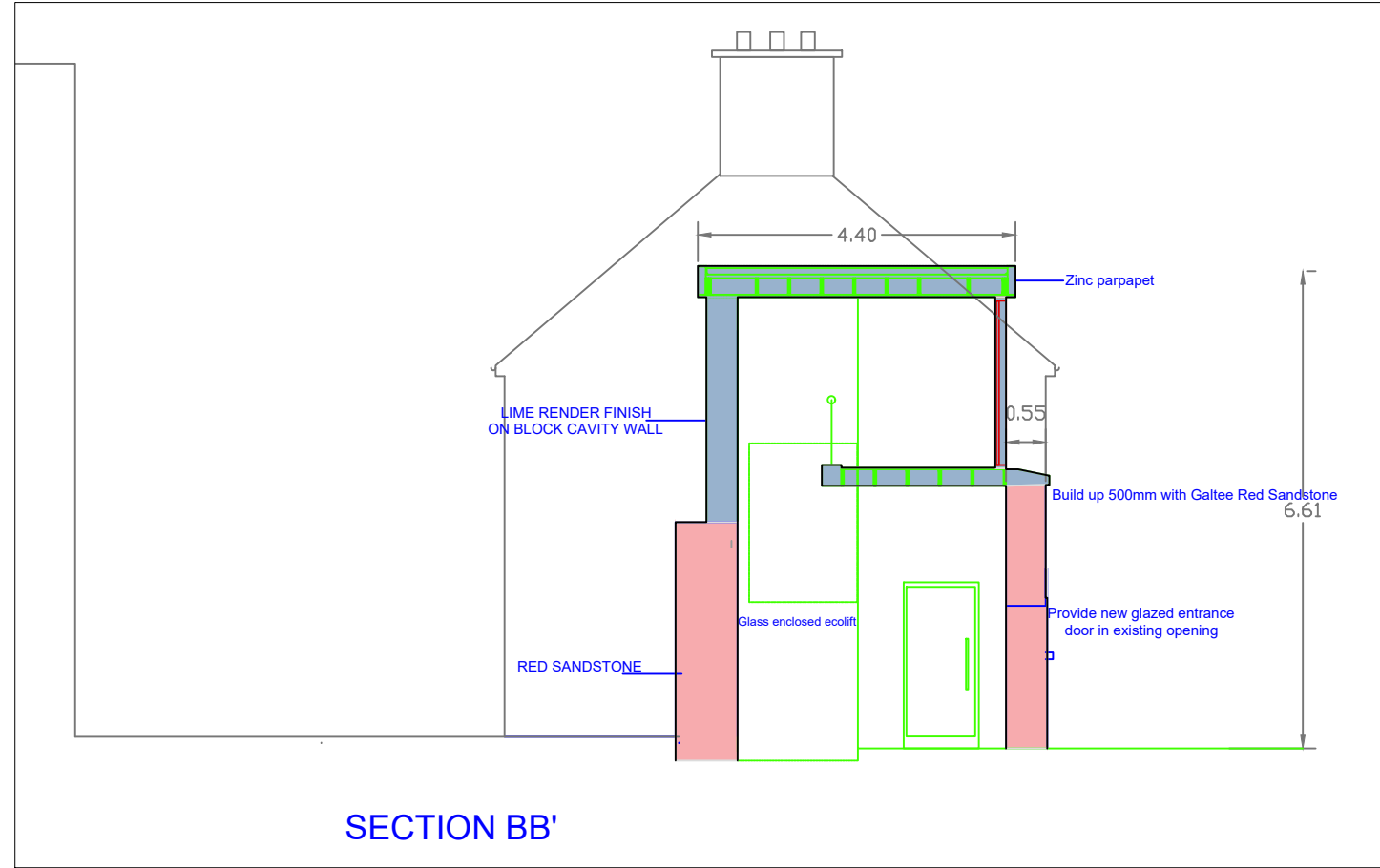
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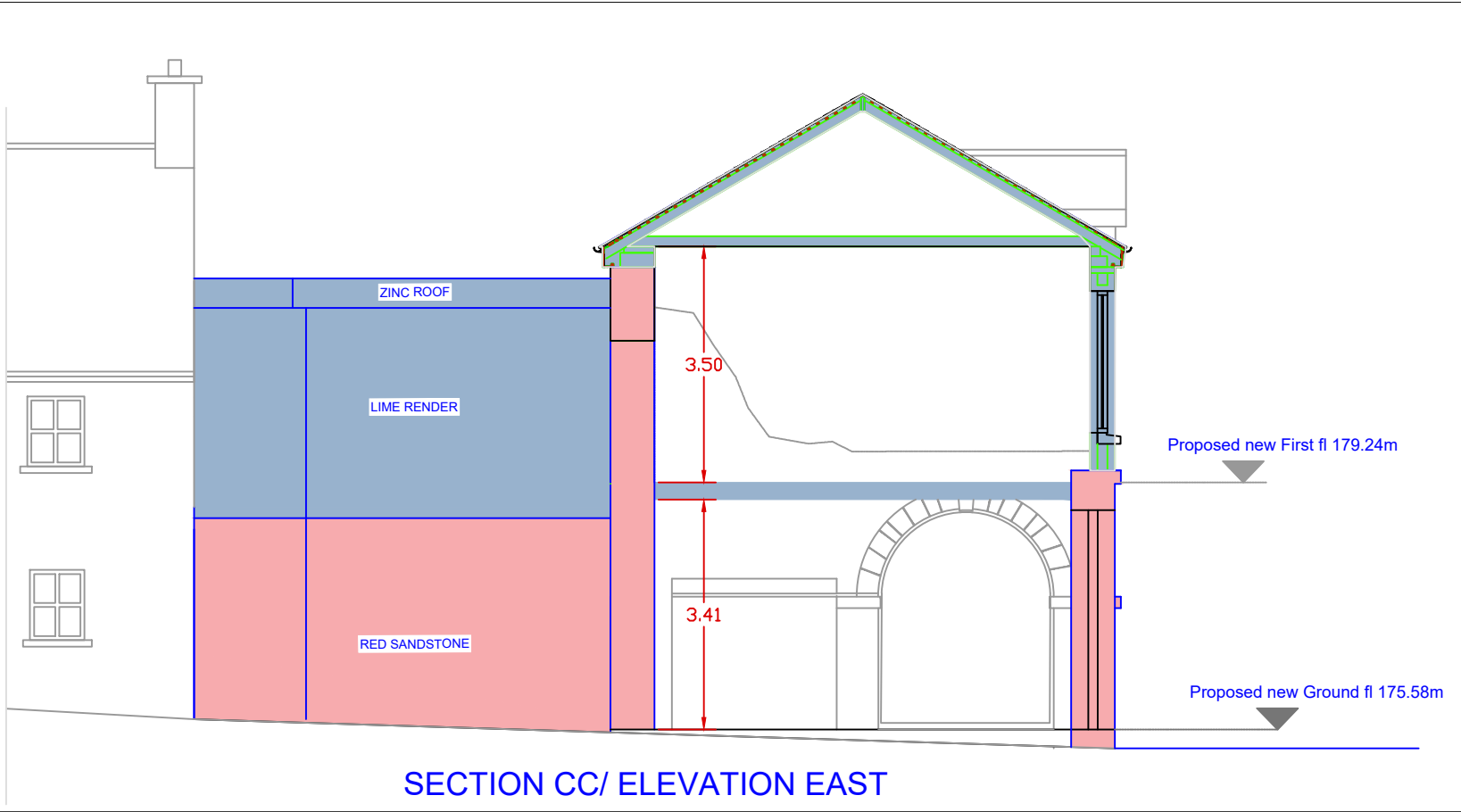
Project: Kilfinane Market House, The Square, Kilfinane, Co. Limerick					
Title: Proposed Elevations of RPS 1324 Kilfinane Market House, Kilfinane, Co. Limerick.					
Designed: GOD	Stage: DESIGN	NRA Project Ref. No.:	Drawing No.:	Revision:	
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Proposed Section AA



SECTION BB'



SECTION CC/ ELEVATION EAST

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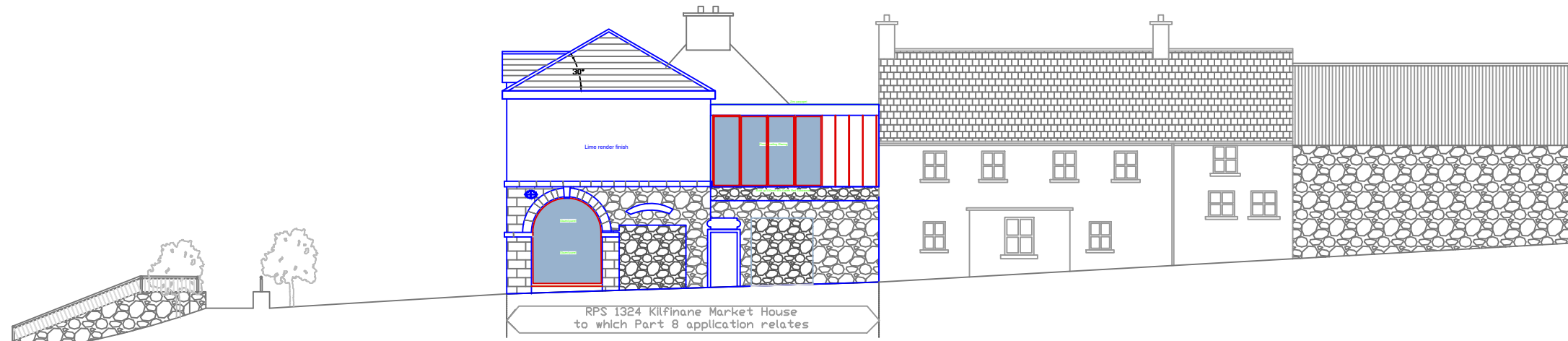
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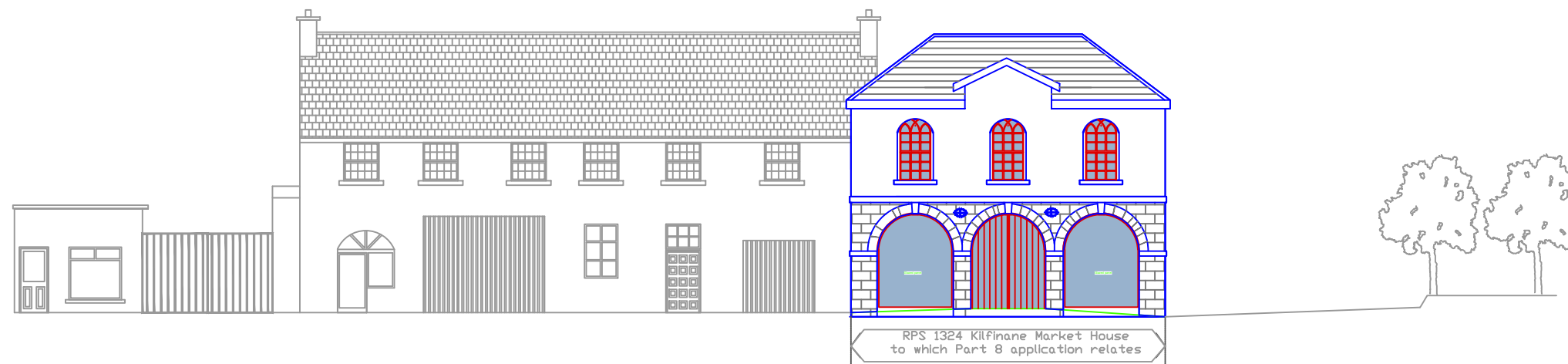
Project: Kilfinane Market House, The Square, Kilfinane, Co. Limerick

Title: Site Sections of RPS 1324
Kilfinane Market House, Kilfinane, Co. Limerick.

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CAPTAIN'S LANE CONTIGUOUS ELEVATION



MAIN STREET CONTIGUOUS ELEVATION

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Title: Proposed contiguous elevations of RPS 1324 Kilfinane Market House, Kilfinane, Co. Limerick.

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KILFINNANE MARKET HOUSE OUTLINE SCOPE OF WORKS AND SPECIFICATIONS

1.0 ROOF

1.1 Historic photographs give accurate evidence of a hipped roof of natural slate finish, eaves overhanging and a decorative coved eaves stone detail, to be replicated. Samples of a natural slate type, gauge and colour and an original authentic roof ridge tile have been discovered amongst the ground debris. Proposed roof cut timber roof with natural slate finish and ridge tile to match authentic examples: Killaloe or Blue Bangor slate, incorporating a breathable membrane, to be used for entire Market House hipped roof.

1.2 Proposed flat roof to the return of Market House, covering steps and former yard to be cut timber roof with zinc finish. This service area will incorporate an accessible bathroom and a lift addition.

2.0 RAINWATER GOODS

2.1 Allow for new heritage cast rainwater goods, 100mm (4") circular downpipes with ears and 125mm (6") gutters by Hargreaves Foundry or equivalent.

3.0 STONEMWORK: RED SANDSTONE (GALTEE)

3.1 Vegetation to be carefully removed and approved Biocide/Herbicide treatment applied, followed by a low pressure steam wash.(DOFF system or similar approved) to wash off loose debris and organic matter.

3.2 Cement based render to be removed.

3.3 First floor external wall finish rendered with a 3 coat hydraulic lime plaster with the final coat a harling (wet dash) 3-6mm rounded pebble applied with a harling trowel.

3.4 Ground floor walls, red sandstone. Cement based pointing to be raked out and repointed with lime mortars to a flush finish.

4.0 WINDOWS

4.1 Provide 3 no. timber sash windows at first floor level as per accurate historic photographs, sliding sash to be box weighted and draught sealed.

4.2 Insert contemporary fully glazed units into 4 no arches at ground level and 1 no. hardwood set of entrance market house double doors in central arch.

4.3 Selected aluminium glazing system and powder coated panel system to first floor of building return.

5.0 FLOORS

5.1 Ground floor provide flagstone floor finish.

5.2 First floor provide wide plank timber floor finish over timber joists, positioned at existing joist pocket level evidenced in survey. Joist pockets to be inspected by timber decay specialist and treated.

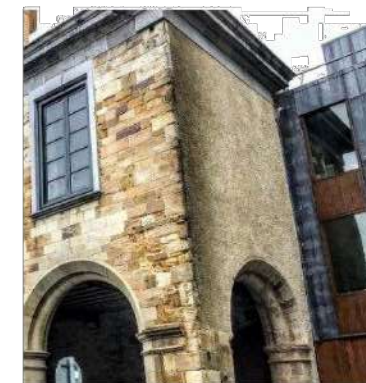
6.0 SERVICES

6.1 Electrical services to facilitate new use, located primarily in circulation/service area.

Mechanical services to facilitate new use, controls located primarily in circulation/service area. Underfloor heating system to be provided throughout.

Sanitary services provided on both ground and first floor, universal access.

Lift service to access first floor, Premier ecopublic lift with 120mm pit and back located lift system or similar approved suitable for heritage structures.



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EXISTING



PROPOSED

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Project Title: Market House Kilfinane Co Limerick

**Document Title: Structural condition report
231245-PUNCH-XX-XX-RP-S-001**

August 2023

Document Control

Document Number: 231245-PUNCH-XX-XX-RP-S-001

Revision	Description	Date	Prepared	Checked	Approved
R0	First Issue	25-08-2023	gn	gn	gn

Master report template last updated 30/01/2023.

Table of Contents

Document Control.....	i
Table of Contents	ii
1 Introduction.....	1
• Details/Findings.....	4
2 Conclusions/Recommendations	5
Appendix A Wall work schedule	7
Appendix B Images	B-I
Appendix C Sketches	C-XI
3 Disclaimer.....	C-XVI
4 Conditions of Engagement	C-XVI

1 Introduction



Photograph 001 Front elevation of Market House Kilfinane.



Photograph 002 Location of Market House Kilfinane.

National inventory of architectural (extract)

End-of-terrace three-bay two-storey former market house-built c. 1760. Now disused. Cut sandstone walls to front (north) having sandstone platband (horizontal stone projecting band), rubble sandstone walls with cast-iron pattress plates to west and rear (south) elevations. Round-headed arch openings to front and west elevations having cut sandstone voussoirs and impost courses, now blocked up. External sandstone staircase to rear having rendered coping. Rubble sandstone boundary walls to rear having rendered copings.

This former market house once formed the centre of commercial, social, and historical activity in Kilfinane. Courts were held here to deal with legal and land ownership issues. Fairs and Tuesday markets were held until the twentieth century.

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Kilfinane Market House, Market Square, Captain's Lane, KILFINNANE TOWN, Kilfinane, LIMERICK

Survey Data

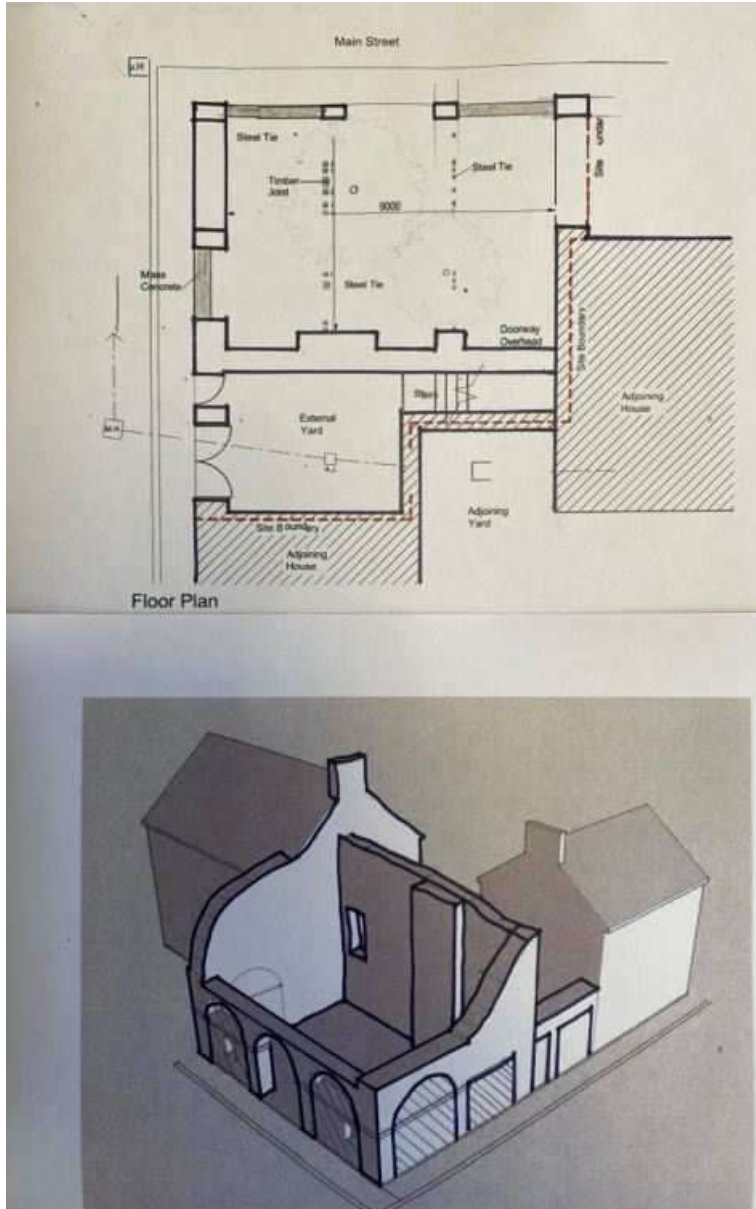
Reg No	21812005
Rating	Regional
Categories of Special Interest	Architectural, Social
Original Use	Market house
Date	1750 - 1770

National inventory of architectural

Limerick City & County Council Protected Structure

RPS ref	Building name/ Title	Location/ Townland	Description	Picture
1324	Market House	The Square	Commercial premises	
End of terrace two storey building built c.1790 having important commercial, civic and social functions in the past. Connections with Staker Wallis and Reverend John Wesley, founder of the Methodist Church. Many notable features including the cut sandstone walls, and arcaded front façade. This building is part of the Opportunity Area. Refer to Chapter 10. Entered into NIAH as ref:21812005.				

Limerick City & County Council Protected Structure RPS ref 1324



Photograph 003 Layout plan & isometric of the building plan.

• **Details/Findings**

- The main façade is constructed using a red sandstone in ashlar style. There is a platband (horizontal sand-stone projecting band) place around the façade at the spring of the stone arch level. The sand-stone arch is constructed using voussoirs (tapered stone) stones.
- The stone piers seem to indicate that the outer stone is only a facing stone in some cases about 75 to 100mm thick & the core of the pier is unknown.
- Most of the pointing mortar is missing & movement of the structure over the years has increased the width of these once tight masonry joints (also known as Penny Joints due to their narrow widths).
- We would recommend mortar analysis of remaining mortar before any repointing commences.
- Tie bars with Pattress plates have been placed on the front North-West & Gable South-West walls due to outward leaning of the upper part of the wall.
- The existing tie rods are placed as follows: Two on the front wall going back to the rear wall & two supporting the Southwest gable which are not full length but terminates on the first arch of the front façade arches (see photographs 03,04,05,12,13 & 14).
- Some of the existing stone arches openings have been infilled with sandstone masonry & in-situ concrete in other arch openings.
- The stone steps at the rear have collapsed in areas & some stone treads are broken & out of place.
- The handrail wall to the stone stairs is in a very weak condition (see photograph 009) due to missing masonry on the adjoining property side of the stone handrail.
- Vegetation growth has cause structural damage by their root system entering masonry joints & heaving the surrounding stone elements.
- Within the arches there are soffit stones broken & in some cases missing, these arches were constructed using voussoirs stones (wedged stones) & the there is also a projecting key stone at the crown of the arch.
- The complete ground floor of the market house is covered with rubbish & vegetation growth, there may also be stone debris from the main building mixed in amongst the rubble.

2 Conclusions/Recommendations

The recommendations outline below are based on securing the ruin & placing a new ground bearing ground floor base within the ruin.

- We would recommend a detailed topographical survey be carried out on the complete structure for accurate dimensions of the existing masonry structure.
-
- Send existing mortar for laboratory analysis so as any new mortar that will be required will match existing mortar mix.
-
- All mortar repairs & pointing to be lime based to match existing mortars.

- Missing voussoirs stones associated with the sandstone arches would indicate that the arch must have spread or the mortar within the masonry joints has eroded to enable a wedge stone to fall out. To replace the missing soffit stone, the following works would be required. Erect a timber centre under the arch, remove the wall above the missing soffit stone, insert a new wedged soffit stone & rebuild the wall over.

- The complete ground floor including the back stone steps & yard needs to be cleaned out including all the vegetation to allow for viewing structural conditions of areas that cannot be seen currently. There may be sandstone among the existing rubble that can be salvaged for re-use on the market house or other such structures.

- Existing tie rods to remain & one new extra tie rod to the front wall is being proposed placed at the arch apex level for the complete length of the front wall to tie the corners stone piers as outlined in SK -005.

- The front three arches need to be tied together longitudinally to stop the spread of the masonry, at present the arch to the West side is the only arch with a steel tie & anchors plates / hooks to prevent longitudinal movement along the front wall which contains the three stone arches.

- Caulking of all existing mortar joints is required, this caulking must be well compacted lime mortar rammed tightly into the joints to provide a solid bonded structure when completed.

- Existing putlog or floor openings in the walls should be filled with masonry or mortar, these indicate putlog openings or possible joist or roof beam bearing locations that should remain visible for historic reasons.

- There are some timber lintels & see photographs 002,003 & 004 Northwest, Southwest & front façade that will require replacement in timber, stone, or concrete after consultation with the conservation officer.

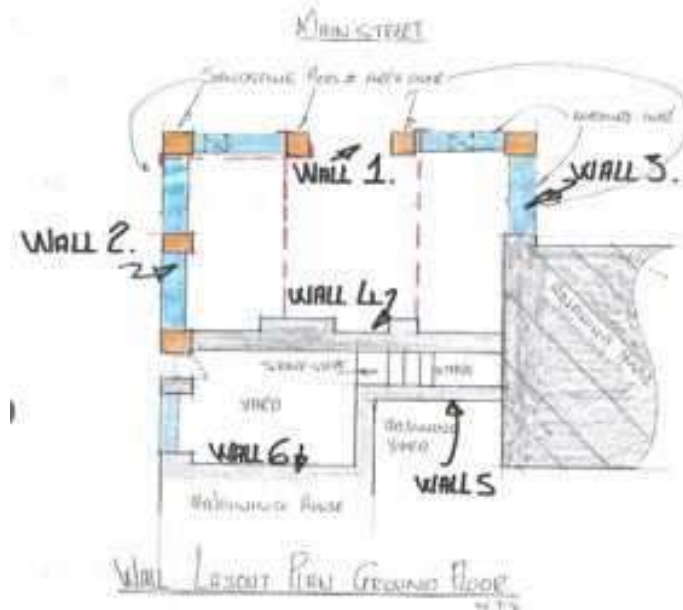
- The tops of all the walls will need lime mortar flaunching to prevent moisture ingress & mortar washout into the sandstone masonry.

- Once the ground floor is cleaned out of all debris a layer of Heavy Duty Weed Control Fabric Mulch Membrane Frond Gravel Sheet with a layer of 12mm down washed sandstone gravel on top, 50mm deep.
- Place a new steel gully in the centre of the front room & drain to the external sewer system.

Existing Civil services:

We have tendered for CCTV of all storm & foul sewers in the surrounding area of the Market house. When the survey is completed, it will be added to this report.

Appendix A Wall work schedule



Wall 1 (See photographs 002 & 021 & above for location)

- Place new wall tie as outlined on SK-005 on the internal face at arch apex level with patress plates extending over the catch the face of the corners stone piers.
- Remove all vegetation growth.
- Remove all timber lintels & replace in stone lintels.
- Rebuild lose masonry in existing infill areas.
- Replace missing arch soffit stone, this may require the arch to be timber centred & a local takedown to insert missing stone, this will be reviewed on site with masons.
- Provide lime mortar pointing to all sandstone faces externally & internally, caulking all joints fully.
- Replace all missing facing stones, these new stones to match existing sand stones & maybe found on site.
- Lime mortar flaunch to top of the wall with NHL 3.5

Wall 2 (See photographs 004, 007, 017 & above for location).

- Remove all vegetation growth.
- Remove all timber lintels & replace in stone infill.
- Remove existing concrete fill to arch & steel beam & replace infill with sandstone masonry.
- Rebuild lose masonry in existing infill arch areas.
- Replace all missing facing stones, all replacement stones to match existing sand stones.
- Replace galvanised infill with new P.V.C coated (green) sheeting, provide steel purlins where required.
- Provide lime mortar pointing to all sandstone faces externally & internally, caulking all joints fully.
- Lime mortar flaunch to top of the wall with NHL 3.5

Wall 3 (See photographs 003, 006, 018 & above for location).

- Remove all vegetation growth.
- Remove all timber lintels & replace in stone infill.
- Remove existing concrete block fill to opening & replace infill with sandstone masonry.
- Replace all missing facing stones, all replacement stones to match existing sand stones.
- Remove cracked plaster on the external face.
- Provide lime mortar pointing to all sandstone faces externally & internally, caulking all joints fully.
- Lime mortar flaunch to top of the wall with NHL 3.5.

Wall 4 (See photographs 005, 013, 009 & above for location).

- Remove all vegetation growth.
- Remove all timber lintels & replace in stone infill or stone lintels.
- Remove existing concrete block fill to opening & replace infill with sandstone masonry.
- Replace all missing facing stones, all replacement stones to match existing sand stones.
- Provide lime mortar pointing to all sandstone faces externally & internally, caulking all joints fully.
- Lime mortar flaunch to top of the wall with NHL 3.5.
- This wall needs to be reviewed after vegetation growth is removed as the wall is covered fully in areas & could not be inspected properly.

Wall 5 & 6 (See photographs 022, 008, 009 026 & above for location).

- Remove all vegetation growth.
- Replace all missing facing stones, all replacement stones to match existing sand stones.
- Provide lime mortar pointing to all sandstone faces externally & internally, caulking all joints fully.
- Lime mortar flaunch to top of the wall where required with NHL 3.5.
- The external face of this wall is in adjoining property & needs to be infilled & repointed due to its very poor condition on the steps handrail side.

Stone Steps:

- Remove all vegetation growth including large tree stumps.
- Replace all missing or broken tread stones, all replacement stones to match existing stones.
- A review of the stone steps will need to be undertaken after the steps are fully exposed, make provision for realigning the stone treads into their original position which will require new bedding material both in stone filling & limecrete bedding.

Ground floor & yard areas:

- Remove all vegetation growth & all debris from the ground floor & yard areas.
- Make provision for new storm water road gully's from both ground floor & yard to connect into existing sewer system via a 150mm PVC pipe. A survey of the surrounding sewers in the road outside will be undertaken as per tenders received for surveying these sewer.
- Once the ground floor & yard are cleaned out of all debris, provide a layer of Heavy Duty Weed Control Fabric Mulch Membrane Frond Gravel Sheet with a layer of 12mm down washed sandstone gravel on top, 50mm deep.
- A review of the ground floor & yard area will need to be undertaken after the cleanout as the condition or build-up of the floor is unknown at this stage.

Appendix B **Images**



Photograph 002. Internal elevation of front North-West arch wall.



Photograph 003. Internal elevation of North-East gable wall.



Photograph 004. Internal elevation of South-West wall.



Photograph 005. Internal elevation of South-East back wall.



Photograph 006. Gable elevation of North-East wall.



Photograph 007. Gable elevation of South-West wall.



Photograph 008. Back wall & stone steps at the South-East wall.



Photograph 009. Back wall & stone steps hand-rail wall (in very poor condition) at the South-East face.



Photograph 010. Inset sand-stone missing near crown of arch, facing stone in position back & front are in place.



Photograph 011. Inset sand-stone missing near crown of arch, and one facing stone is broken with a missing section.



Photograph 012. Steel tie bars.



Photograph 013. Steel tie bars.



Photograph 014. Steel tie bars



Photograph 015. Timber railway sleeper lintel over opening & concrete infill.



Photograph 016. Showing facing stones & sandstone delaminating (environmental pollution?)



Photograph 017. Showing steel beam over old door opening on the South-West gable wall with concrete infill under & masonry infill to the original stone arch.



Photograph 018. Showing loose & cracked plaster on the North-East Gable.



Photograph 019. Showing infilled arch using brick & broken arch stone.



Photograph 020. Showing steel anchor for the tie bar in the South-West gable at the spring of the arch.



Photograph 021. Showing steel patrix plate from tie bar behind.



Photograph 021. Showing rotten timber lintel & very loose masonry over on the South-West gable wall.



Photograph 022. Showing poor structural condition of stone steps handrail wall which is over the adjoining property backyard.



Photograph 023. Front façade facing the square the top is leaning outward slightly.



Photograph 024. Gable wall South-West façade the top is leaning outward.

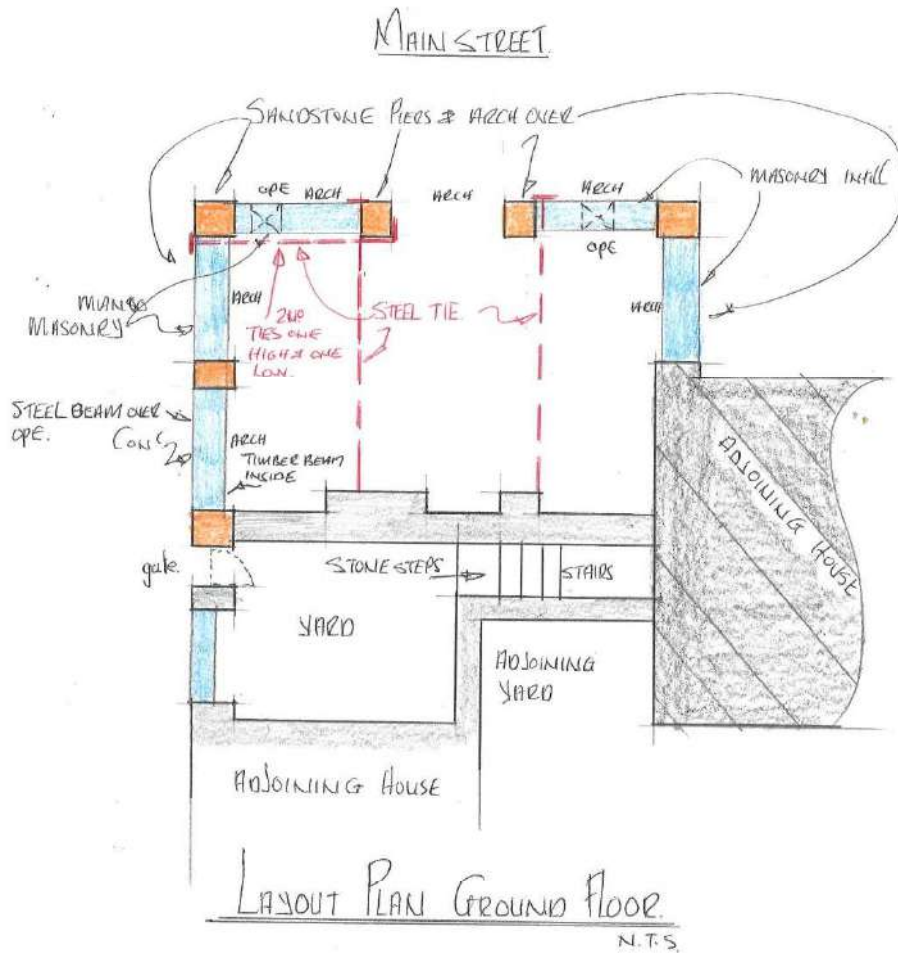


Photograph 025. Gable wall North-East façade the top is leaning outward.

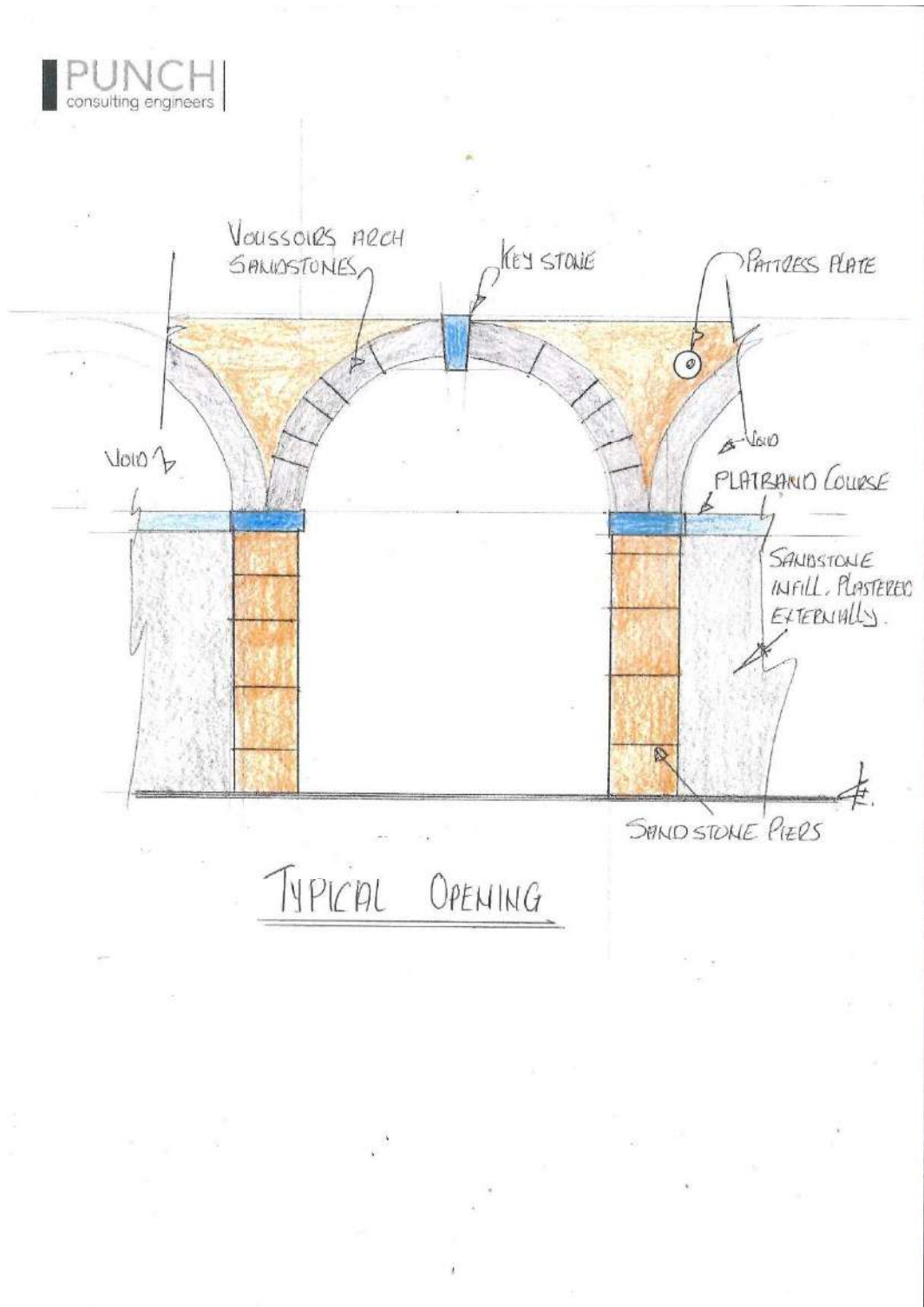


Photograph 025 Yard wall leading to stone steps.

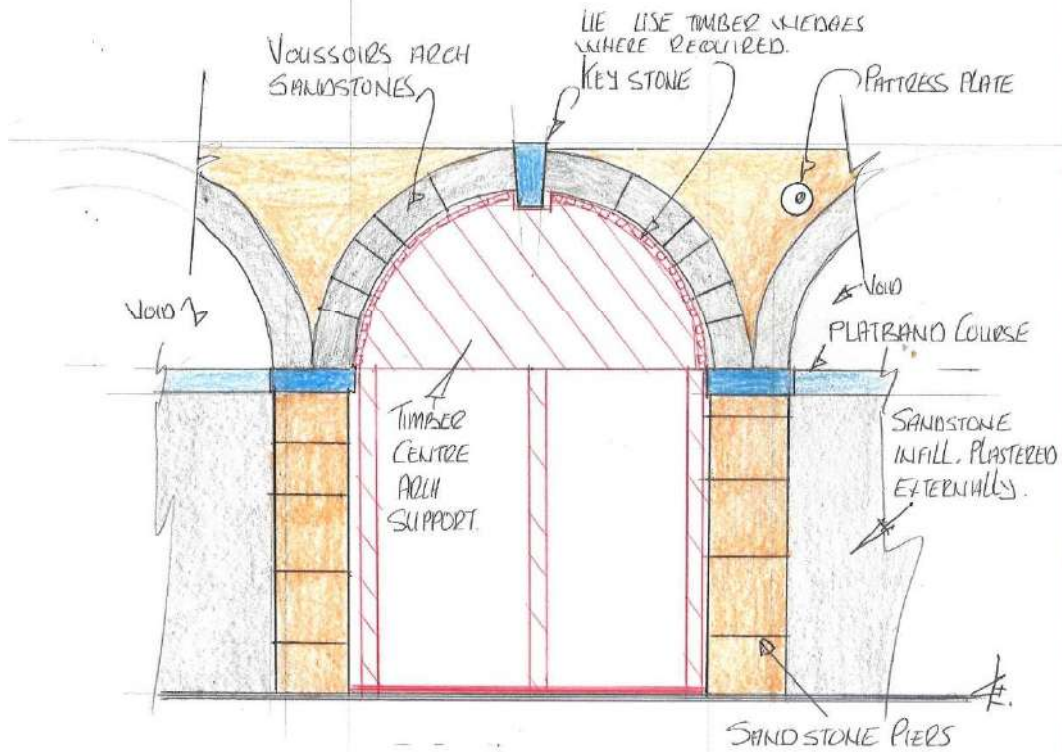
Appendix C Sketches



SK-001. Existing ground floor layout showing infill areas & rod ties.

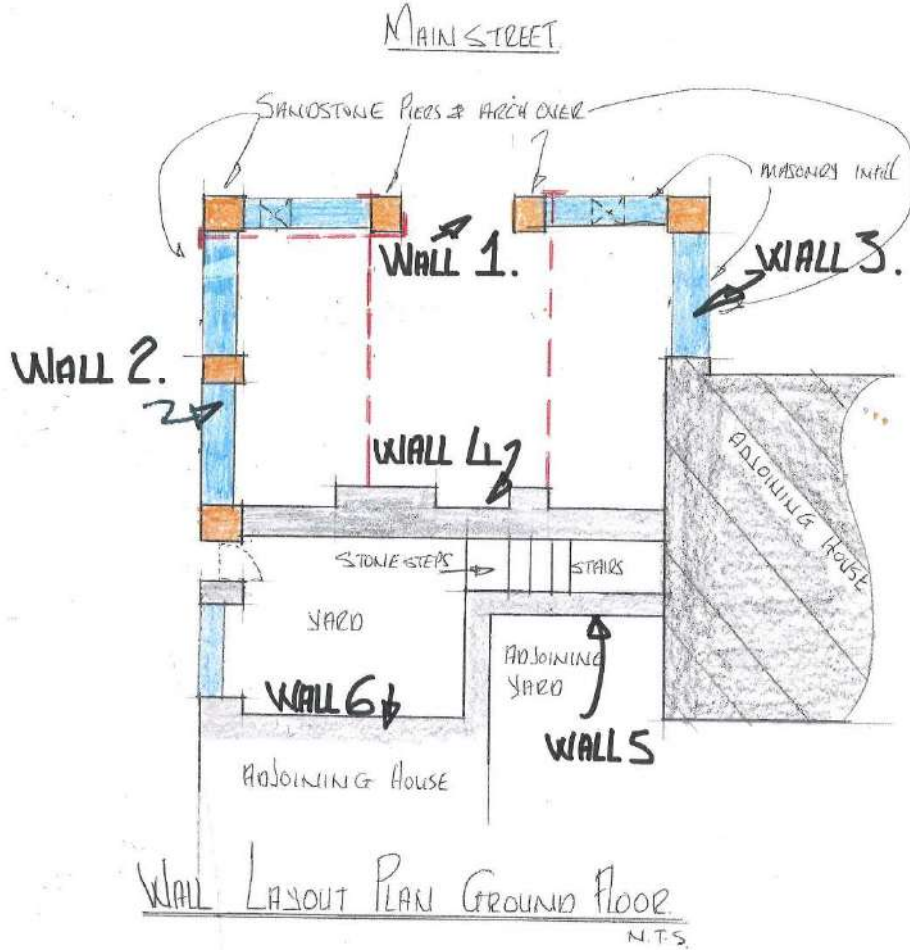


SK 002. Typical Stone Arch Elevation.

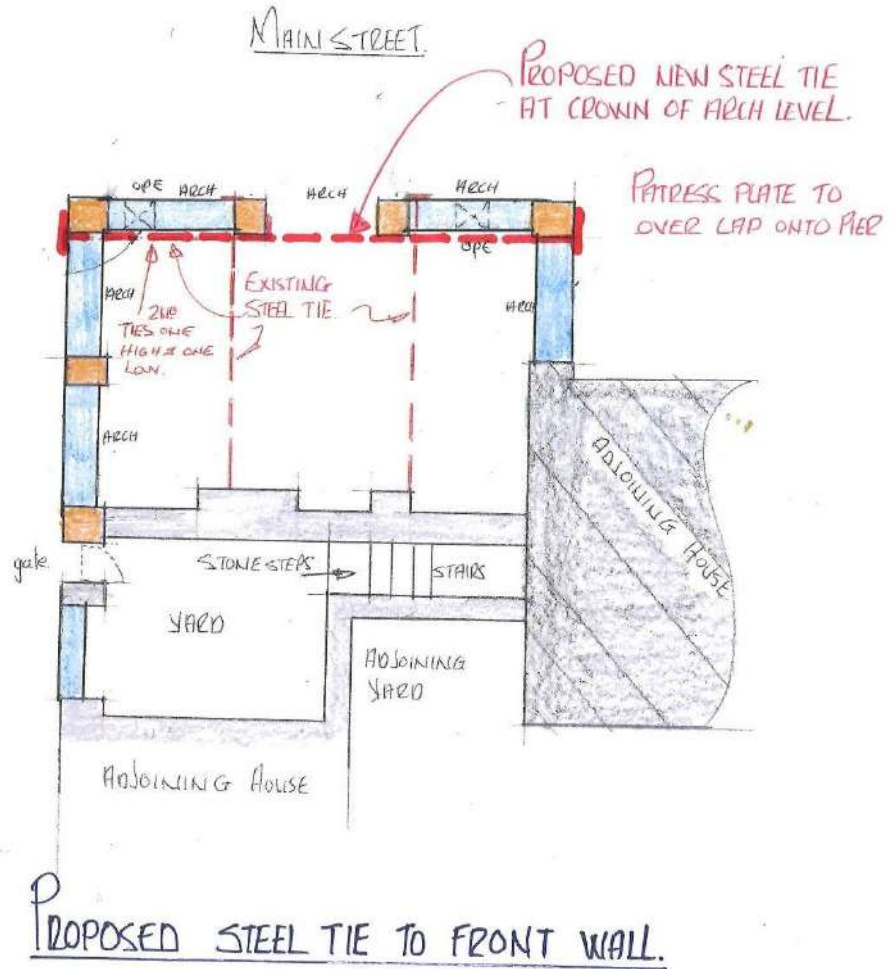


TYPICAL ARCH SUPPORT TIMBER CENTRE (IF REQUIRED)

SK 003. Typical Timber Centre Support if Required to Repair or Replace Missing Stones.



SK 004. Layout Plan Indicating Wall Locations.



SK-005.

SK 005 New tie rod position on the front wall at arch apex level.

3 Disclaimer

1. This report is based on a visual inspection only. All external elements of the property were inspected from ground level only.
2. No form of opening up works and/or uncovering or exposing of any surfaces was undertaken and therefore, we are unable to report that such parts are free from defect.
3. No testing of drains was carried out. A tender to carry out a survey of the sewers has been undertaken.
4. No measurements were carried out.
5. This report and its contents have been prepared and is intended solely for use by LCC and should not be used or relied upon wholly or partly by any third party without the prior written consent and approval of the report writer.
6. The report is solely based on the condition of the property at the time of the inspection and therefore, no liability is accepted for any deterioration or otherwise, of the property thereafter.
7. This report does not address asbestos, deleterious materials or hazardous rubbish material within the site deemed dangerous to health.
8. This report does not address invasive plant species including Japanese Knotweed.
9. The report does not address any items whatsoever regarding planning permission for the protected structure & all proposed or suggested works must be agreed with the conservation officer & LCC planning section before works are tendered or undertaken.

4 Conditions of Engagement

This survey and report were undertaken under the conditions of engagement Agreement RA9101 for the Appointment of Consulting Engineers for Report and Advisory Work Published in agreement with The Association of Consulting Engineers of Ireland