

Material Alterations to the

Draft Adare Local Area Plan 2024 – 2030

**In accordance with Section 20(3)(e) of the Planning and
Development Act, 2000 (as amended)**

Public Display Period: 2nd December 2023 – 10th January 2024

Limerick City and County Council,
Forward Planning,
Planning, Environment and Place-making Directorate,
Merchants Quay,
Limerick



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Contents

1.0	Introduction	5
2.0	Amendments to Draft Local Area Plan Text.....	6
2.1	Amendments to Settlement Capacity Audit	14
3.0	Amendments to Maps	16
4.0	Amendments to Draft Public Realm Plan 2024-2030	26
5.0	Amendments to Strategic Environmental Assessment and Natura Impact Report	31
6.0	Updated Strategic Flood Risk Assessment	32

1.0 INTRODUCTION

This report sets out the proposed Material Alterations to the Draft Adare Local Area Plan (LAP) 2024 - 2030, following consideration of submissions received during the public display period of the Draft LAP. The report forms part of the statutory procedure for preparing a new LAP set out under Section 20 of the Planning and Development Act 2000 (as amended). It is a key element in the process of bringing the Draft Plan to adoption.

This report comprises the following parts:

- 1.0: Introduction;
- 2.0: Amendments to Draft Local Area Plan text;
 - 2.1: Amendments to the Settlement Capacity Audit;
- 3.0: Amendments to Local Area Plan Maps;
- 4.0: Amendments to the Draft Public Realm Plan 2024-2030;
- 5.0: Amendments to Strategic Environmental Assessment and Natura Impact Report;
- 6.0: Updated Strategic Flood Risk Assessment

The Draft LAP was placed on public display for a period of 6 weeks from 19th of August 2023 to the 2nd of October 2023 inclusive. A total of 123 no. written submissions were received within the statutory timeframe for public display.

The 123 no. submissions were considered by the Chief Executive, responses and recommendations were presented in a Chief Executive's report, dated the 27th of October 2023 and issued to the Elected Members of the Adare-Rathkeale Municipal District for consideration. A briefing meeting was held for the Elected Members of the Adare-Rathkeale Municipal District to outline the contents of the Chief Executive's Report on the 10th of November 2023.

The Elected Members of the Adare-Rathkeale Municipal District at their meeting on the 23rd of November 2023 passed a resolution to make the Draft LAP, subject to the alterations set out in the Chief Executives Report and six alterations resolved by the Elected Members, subject to further public consultation on the Material Alterations.

In accordance with the Planning and Development Act 2000 (as amended), written submissions with respect to the proposed Material Alterations to the Draft Local Area Plan can **only** be considered. **The closing date for the submissions on the Material Alterations is 5pm on the 10th of January 2024.** This display period will be followed by the preparation of a second Chief Executive's Report to the Members on any submissions received on the proposed Material Alterations. Members may then decide to make the LAP, with or without the proposed alterations or with modifications to the proposed alterations, subject to the provisions of the Planning and Development Act, 2000 (as amended). The formal making of the LAP is by resolution of the Elected Members. During the LAP process, the Members of the Adare-Rathkeale Municipal District must consider the proper planning and sustainable development of the area, statutory obligations and any relevant plans and policies of the Government or any Minister of the Government.

Proposed Amendments to Draft Adare Local Area Plan 2024 – 2030

The following sets out amendments, which include text to be omitted ~~struck through in red~~ and wording to be inserted underlined in green. Where policies or objectives are proposed to be included or amended, the policy/objective numbers of those in the Draft Plan may need to be revised.

2.0 AMENDMENTS TO DRAFT LOCAL AREA PLAN TEXT

Chapter 3: Development Strategy

Text Amendment No.	Proposed Amendment	Submission No.
1.	Amend Objective H1(a) Residential Development as follows: Early engagement with all utilities providers <u>statutory stakeholders</u> including Uisce Eireann is strongly advised.	7

Chapter 4: Town Centre First Approach

Text Amendment No.	Proposed Amendment	Submission No.
2.	Amend the text in Opportunity Site 1 as follows: This shall include for the provision of age friendly parking spaces and potential for a drop off point for coaches and long stay out of centre coach parking <u>set down</u> facilities. and/or the provision of an overflow coach parking area on undeveloped lands at the rear of the existing car park should be considered. <u>The Transport Plan being prepared for the village should investigate the suitability of a number of sites, including lands within the vicinity of the existing car park for the potential for the provision of car parking to accommodate relocation of spaces from Main Street.</u>	40

Text Amendment No.	Proposed Amendment	Submission No.
3.	Amend the text in Opportunity Site no 5 as follows: Potential exists to provide and extended car park at this location <u>Opportunities exist through the Transport Plan to investigate the potential of this site for the delivery of car parking in conjunction with other sites in the village</u>	70

Text Amendment No.	Proposed Amendment	Submission No.
4.	Amend the boundary of Opportunity site number 5 in Table 3 in the Draft Local Area Plan in line with the blue boundary identified in the Draft Local Area Plan.	79

Text Amendment No.	Proposed Amendment	Submission No.
5.	Update the text in Opportunity sites 2, 4 - <u>watermains running through site to be protected.</u>	8

Text Amendment No.	Proposed Amendment	Submission No.
6.	Update the text in Opportunity sites 1, 2, 3, 4, 5 - <u>sewers passing through site to be protected.</u>	8

Chapter 5: Sustainable Communities

Text Amendment No.	Proposed Amendment	Submission No.
7.	Amend Objective C1(f) Community and Education Facilities as follows: Require future development of new community <u>and educational</u> facilities to generally meet the following criteria of the 10 Minute Town Concept.	9 & 1

Text Amendment No.	Proposed Amendment	Submission No.
8.	Amend Objective C3: Open Space and Recreation as follows: b) Protect existing space by not permitting development, which encroaches on such open space and <u>land zoned open space and recreation</u> from inappropriate development and facilitate/support the provision of allotment or community gardens at appropriate locations <u>development in line with the uses set out in the zoning matrix and subject to appropriate environmental assessments.</u> c) <u>Protect semi-natural open space from inappropriate development and facilitate/support the provision of allotments or community gardens at appropriate locations subject to appropriate environmental assessments.</u> Rename Objective C3 Parks, Open Space and Recreation accordingly.	105

Chapter 7: Sustainable Mobility

Text Amendment No.	Proposed Amendment	Submission No.
9.	Amend Objective SM1(f) as follows: (f) <u>To support any future proposals for passenger rail services in Adare.</u> (f) (g) Support the provisions set out in	Number 38, 98 & 102

Text Amendment No.	Proposed Amendment	Submission No.
10.	Amend Objective SM5(b) as follows: Support the delivery of the Foynes to Limerick (including Adare Bypass) Road, subject to all appropriate environmental and planning assessments <u>and ensure future development proposals do not compromise the development of this scheme.</u>	1, 7 & 9

Text Amendment No.	Proposed Amendment	Submission No.
11.	Replace National Active Travel policy in the first paragraph on Page 54 with ' <u>National Sustainable Mobility Policy</u> '	6

Text Amendment No.	Proposed Amendment	Submission No.
12.	Amend Section 7.2 Achieving modal shift to include the following text <u>The Council promotes the use of shared mobility options such as rented bikes, scooters and car sharing in line with the National Sustainable Mobility Policy and the Climate Action Plan 2023(CAP23).</u>	6

Text Amendment No.	Proposed Amendment	Submission No.
13.	Amend Objective SM5(a) Road as follows: Safeguard the capacity of the national road network and ensure any future development requiring access onto the N21 shall be in accordance with objective TR039 and objectionable TR048 of the Limerick Development Plan 2022-2028 and ensure development does not compromise the	7

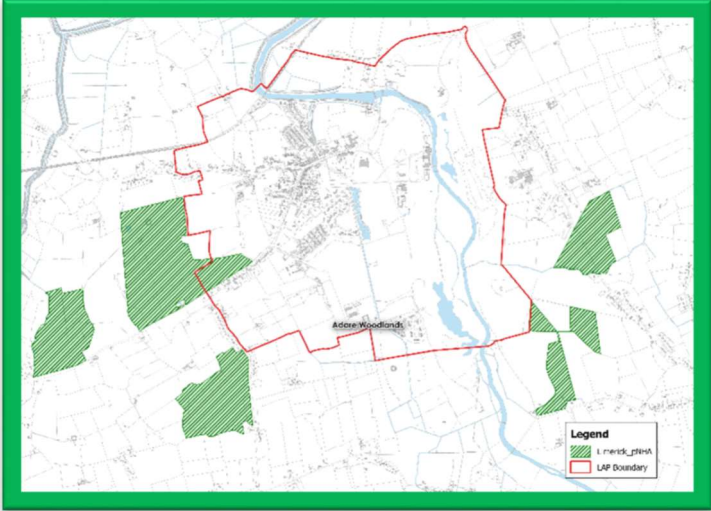
	<p>performance of the network or future improvements to the network.</p> <p>(i) Road Safety audits and Traffic Impact Assessments in accordance with TII guidance and publications will be required to demonstrate implications of development proposals on the national and regional road network which are in line with the appropriate and necessary environmental and ecological assessments as require.</p> <p>(ii) <u>A Design Report will be required in accordance with TII Publications DN-GEO-03030 for works to the strategic national road network.</u></p>	
--	--	--

Text Amendment No.	Proposed Amendment	Submission No.
14.	<p>Amend Objective SM1(b) as follows: Deliver a Traffic Management Transport Plan for the village within the lifetime of the Plan, which will consider traffic flow and parking around the village and improved pedestrian and cyclist provision</p> <p><u>The plan will assess the existing traffic, transport and movement conditions in the village and surrounding context, will identify key transport interventions for the village including parking, and will identify key measures for sustainable and active travel infrastructure.</u></p>	11

Text Amendment No.	Proposed Amendment	Submission No.
15.	<p>Amend the text in Objective SM2: Overflow Car Parking as follows:</p> <p><u>As part of the Transport plan for Adare a) Investigate the potential to provide alternative locations for car parking off the Main St in Adare</u></p> <p><u>b) explore the possibility of the provision of an overflow car park on lands to the rear of the Heritage Centre car park indicated with a P on the Amenity and Sustainable Transport Map subject to compliance with the Flood Risk Management Guidelines, the Strategic Flood risk Assessment contained in Volume 3 of this Plan and a Flood Management Plan detailing procedures including closure of the car park in predicted times of tidal inundation. Any development of a car park at this location shall demonstrate appropriate Sustainable urban Drainage Systems (SuDS) which are in line with the appropriate and necessary environmental and ecological assessments as required.</u></p>	40

	Include references across the Plan to the identification of alternative locations for car parking in Adare off the Main St.	
--	---	--

Chapter 8: Climate Action, Environment and Heritage

Text Amendment No.	Proposed Amendment	Submission No.
16.	<p>Include a map of the Natural Heritage Areas showing the Woodlands of Adare in Section 8.2 Biodiversity and Blue green infrastructure.</p> 	15

Text Amendment No.	Proposed Amendment	Submission No.
17.	<p>Amend Objective CH01(b) Climate Change to include the following text <u>Finished floor levels should be assessed in relation to the specific development, but the minimum levels set out in Table 7-2 Volume 3c of the Strategic Flood Risk Assessment shall apply.</u></p>	9

Chapter 9: Infrastructure and Utilities

Text Amendment No.	Proposed Amendment	Submission No.
18.	<p>Update text in Section 9.1 as follows: Limerick City and County Council delivered water services in accordance with a Service Level Agreement <u>until Uisce Éireann assumed full responsibility for the delivery of all public water services in Limerick in 2023, in line with the Water Services Bill 2022.</u> designed for a biological capacity of 2,500 population equivalent (PE) and the current</p>	8

	load is estimated at 1,4 7 ⁷² population equivalent as per the 2022 Settlements with Waste Water Discharge Authorisations Wastewater Treatment Capacity <u>Register</u> .	
--	--	--

Text Amendment No.	Proposed Amendment	Submission No.
19.	<p>Update text in Section 9.1 as follows:</p> <p>Adare's public water supply is currently provided from the existing Water Treatment Plant in Castleroberts located to the southeast of the village and there is capacity in the system to cater for the population growth anticipated over the lifetime of the Plan.</p> <p><u>Adare is served by the Adare Water Resource Zone(WRZ). A project to facilitate interconnection with Limerick City WRZ, via Croom is underway and is expected to be delivered by 2026, subject to the necessary approvals. It is envisaged that, with these works there will be adequate capacity available to cater for the proposed population growth over the Plan period.</u></p>	8

Text Amendment No.	Proposed Amendment	Submission No.
20.	<p>Amend Objective IU05(b) as follows:</p> <p>Ensure development proposals within <u>the townlands of Adare, Ardshanbally, Blackabbey, Bouladally, Curraghbeg and Mountwilliam or other</u> areas outlined as being at risk of flooding <u>both within and outside the core (where the Justification Test is not applied)</u> are subject to Site Specific Flood Risk Assessment as outlined in "The Planning System and Flood Risk Management Guidelines", DECLG and OPW (2009) and measures outlined in Section 7.2 of the SFRA Volume 3.</p>	9 & 1

Chapter 10: Land Use Framework, Zoning Matrix and Settlement Capacity Audit

Amend figures in Table 10 to zoning changes made to Existing Residential, New Residential, Residential Serviced Sites, Open Space and Recreation, Education and Community Facilities, Agriculture, Tourism Related Development and Utilities.

Amendment No. 21:

Amend Table 10 Section 10.3 as follows:

Zoning	Total Area Zoned in 2024 LAP - ha
Agriculture	76.862 <u>68.029</u>
Enterprise and Employment	5.71

Education and community facilities	23.83 <u>19.336</u>
Utilities	0.85 <u>0.923</u>
New residential/ Phase 1	13.27 <u>14.19</u>
New residential Phase 2	No designation
Existing Residential	47.36 <u>47.21</u>
Residential Serviced Sites/ Phase 1	3.11 <u>10.77</u>
Residential Serviced Sites Phase 2	No designation
Open Space and Recreation	36.46 <u>37.66</u>
Village Centre	8.72
Special Control Area	21.61
Semi Natural Open Space	6.34
Proposed Natural Heritage Area	6.7
Tourism Related Development	276.78 <u>280.29</u>

Amendment No 22:

Amend Section 10.4 Land Use Zoning Matrix(sub no 85 and 100) and footnote 12 as follows: (sub no 74)

Land Use Zone	Village Centre	Existing Residential	New Residential	Education and Community	Enterprise and Employment	Open Space and Recreation	Special Control Area	Utilities	Agriculture	Tourism
Community/ Cultural/ Tourism Facility	/	/	/	/	X <u>O</u>	/	X	X	X	O

¹² Ancillary to the primary use ~~only~~ or with respect to car parking if the site is identified in the Adare Transport Plan

General Text amendments across the Plan

Text Amendment No.	Proposed Amendment	Submission No.
23.	Amend all references to the Castle in Adare to Desmond Castle, Adare.	13

Text Amendment No.	Proposed Amendment	Submission No.
24.	Amend all references to Irish Water to Uisce Eireann.	8

Text Amendment No.	Proposed Amendment	Submission No.
25.	Amend all references to Traffic Management Plan to Transport Plan.	11

2.1 AMENDMENTS TO SETTLEMENT CAPACITY AUDIT

Settlement Capacity Audit

In accordance with Appendix 3 of the National Planning Framework (NPF), the tiered approach to zoning has been applied to zoned lands as laid out in Fig.11.1 below. Tier 1 refers to lands that are adequately serviced and can connect to existing services (road, path, public lighting, water supply and surface water drainage). Tier 2 lands refer to lands that have constraints in terms of connecting to services, but have the potential to become fully serviced over the lifetime of the Plan. The Settlement Capacity Assessment sets out the sites identified for new residential development, serviced sites and enterprise and employment with respect to availability of key infrastructure to ensure that these lands are developable over the lifetime of the plan. The sites are identified as being serviced (utilities), served by public transport and community infrastructure and satisfies the principles of the Ten Minute Town Concept and compact growth, all promoted by higher level spatial plans. Where existing infrastructure is located in close proximity to a site and can potentially be extended to service the site, these services have been indicated as available. It should be noted that the table below is for information purposes only and developers are advised to avail of pre-planning consultation with the service providers regarding development of these lands prior to submitting a planning application.

Site No.	Zoning	Area (ha)	Density units per ha	Est Yield	Lighting	Footpath	Public Transport	Road Access	Water	Foul	Surface Water	Flood Risk	Infill - Brownfield	Cost	Comments if applicable	Tier
1a	New Residential	1.1	extant	26	✓	✓	•	✓	✓	✓	✓	*	✓	€110,000	Part of permission 19/8010, site <1km from village centre. <u>Likely servicing of these sites to be facilitated by provision of new developer led sewer through sites 1 to 4, connecting to the 300mm diameter sewer on N21 at Adare Boys N.S. Third party permissions may be required. 100mm diameter sewer to the rear of existing properties and parallel to the N21 to be protected.</u>	1
1b	New Residential	1.1	extant	13	✓	✓	•	✓	✓	✓	✓	*	✓	€110,000	Part of permission 19/8010, site <500m from village centre.	1
2	New Residential	4.8	extant	74	✓	✓	•	✓	✓	✓	✓	*	✓	€480,000	Permission 22/990, site <1km from village centre <u>Likely servicing of these sites to be facilitated by provision of new developer led sewer through sites 1 to 4, connecting to the 300mm diameter sewer on N21 at Adare Boys N.S. Third party permissions may be required. 100mm diameter sewer to the rear of existing properties and parallel to the N21 to be protected.</u>	1
3	New Residential	.54	extant	17	✓	✓	•	✓	✓	✓	✓	*	✓	€54,000	Permission 19/684, site <500m from village centre. <u>Likely servicing of these sites to be facilitated by provision of new developer led sewer through sites 1 to 4, connecting to the 300mm diameter sewer on N21 at Adare Boys N.S. Third party permissions may be required. 100mm diameter sewer to the rear of existing properties and parallel to the N21 to be protected.</u>	1
4	New Residential	2.6	22	57	✓	✓	•	✓	✓	✓	!	*	✓	€260,000	Infill site <1km from village centre <u>Likely servicing of these sites to be facilitated by provision of new developer led sewer through sites 1 to 4, connecting to the 300mm diameter sewer on N21 at Adare Boys N.S. Third party permissions may be required. 100mm diameter sewer to the rear of existing properties and parallel to the N21 to be protected.</u>	1
5	New Residential	1.7	22	37	✓	✓	•	✓	✓	✓	!	*	✓	€170,000	Pinch points along the roadway, upgrades will be required. <u>GIS indicates area is served by a 75mm diameter main. Localised water network upgrades/ extension likely to be required.</u>	1
6	New Residential	0.16	22	4	✗	✗	•	✗	✗	✗	↓	*	✗	€16,000	Pinch points along the roadway, upgrades will be required.	±
7	New Residential	0.13 <u>.338</u>	22	7	✓	✓	•	✓	✓	✓	!	*	✓	€13,000 <u>€33,800</u>	Pinch points along the roadway, upgrades will be required. <u>GIS indicates area is served by a 75mm diameter main. Localised water network upgrades/ extension likely to be required.</u>	1
8	New Residential	1.1	24	24	✗	✗	•	✗	✗	↓	↓	*	✗	€165,000		2

7	New Residential	1.9	22	42	✓	✓	•	✓	✓	!	!	*	*	€285,000	Closest available sewer is on N21 outside Adare Boys N.S. Long extension of 300-600m required to connect to public network, depending on site. Upon development of site 4, potential may also exist to connect via this site. Short extensions may be required.	2
9	Residential Serviced Sites	0.4	Extant	1	✓	✓	•	✓	✓	✓	✓	*	*	€60,000	Permission 22/1025 for a dwelling with a wastewater treatment system and soakpit.	2
8	Residential Serviced Sites	1.15	10	12	✓	✓	•	✓	✓	!	!	*	*	€172,500	Closest available sewer is on N21 outside Adare Boys N.S. Long extension of 300-600m required to connect to public network, depending on site. Upon development of site 4, potential may also exist to connect via this site. Short extensions may be required.	2
11	Residential Serviced Sites	2.3	10	23	✓	✓	•	✓	✓	!	!	*	*	€345,000	Adjoins permission 22/493, site 1km from the village centre. Extension of foul and storm sewer network will need to take place. Closest available sewer is on N21 outside Adare Boys N.S. Long extension of 300-600m required to connect to public network, depending on site. Upon development of site 4, potential may also exist to connect via this site. Short extensions may be required.	2
10	Residential Serviced Sites	0.8	extant	5	✓	✓	•	✓	✓	✓	✓	*	*	€80,000	Permission 22/493, site 1km from village centre. Extension of foul and storm sewer network from adjoining site. Closest available sewer is on N21 outside Adare Boys N.S. Long extension of 300-600m required to connect to public network, depending on site. Upon development of site 4, potential may also exist to connect via this site.	1
11	Residential Serviced Sites	7	10	70	!	!	•	*	!	*	!	*	*	€1,050,000		X
12	Enterprise and Employment	5.7	n/a	-	✓	✓	•	✓	✓	!	!	*	*	€855,000	Site located <1km from village centre. Sewer line available circa 100m from site. Refer to Objective ED1. Available GIS indicates the nearest network is approximately 140m away (Adare Old WWPS). GIS indicates area is served by a 75mm diameter main. Localised water network upgrades/ extension likely to be required.	2

Figure 11.1 Settlement Capacity Audit

Amendment number 26: Amend site references/appropriate text in line with those set out in the Settlement Capacity Audit throughout the plan where site numbers have been altered.

Legend			
Serviced/Yes	✓	Serviceable/ Investment required	!
Not required/No	✗	Located within a 1km walk	•
Cost (K)	Cost in Thousands 100k per hectare Tier 1 150k per hectare Tier 2		

3.0 AMENDMENTS TO MAPS

Amendments to maps as set out by the Elected Members at Adare- Rathkeale Municipal District meeting 23/11/23

1. In relation to submission 96. The zoning should be retained as open space and recreation as was previous in the local area plan 2015-2021(as extended).
Reason: This is in the interest of retaining and protecting the existing residential amenity of the existing estate. Further alternative suitable sites are available to meet the core strategy requirements.
Proposed: Cllr Adam Teskey (Cathaoirleach)
Seconded: Cllr Kevin Sheahan

2. In relation to submission 21. The zoning should be retained as open space and recreation as was previous in the local area plan 2015-2021(as extended).
Reason: This is in the interest of retaining and protecting the existing residential amenity of existing estate. Further alternative suitable sites are available to meet the core strategy requirements.
Proposed: Cllr Adam Teskey (Cathaoirleach)
Seconded: Cllr Kevin Sheahan

3. I will move that Limerick City and County Council changes the zoning on lands indicated in submission 69 to serviced sites. The lands adjacent to this site has been zoned as serviced sites in the Draft Adare LAP, however these lands are currently being developed and therefore should be zoned as existing housing allowing for the serviced sites zoning to be transferred to lands as indicated in submissions 69.
Reason: The reason being to reflect the development that has happened on site.
Proposed: Cllr Adam Teskey (Cathaoirleach).
Seconded: Cllr Bridie Collins

4. Submission number 112 – Hutch O’ Malley Consulting Engineers/Sean O’ Brien and Lynda O’ Mahony
That the lands in Ardshanbally Adare be rezoned from Agriculture to Existing Residential.
Reason: To reflect the established boundary of the existing dwelling which includes this area.
Proposed: Cllr Adam Teskey (Cathaoirleach).
Seconded: Cllr Stephen Keary

5. Submission number 56 – Martyr Boylan – Ref: LCC-C244-ADAR2 – 47
I will resolve that lands in Graigue Adare should be re-zoned from Agricultural use in the Draft Local Area Plan to Serviced Sites use.
Reason: There are currently insufficient serviced sites located within the Tier 4 Settlement of Adare. These sites would be available to people who reside within the Tier 4 settlement and others and provide necessary housing units.
Proposed: Cllr Adam Teskey(Cathaoirleach).
Seconded: Cllr Kevin Sheahan

6. Submission number 111 and 66

I move that lands identified in submission 111 zoned as Open Space and Recreation in the Draft Adare LAP be zoned New Residential and in turn lands identified in submission 66 zoned as Agriculture in the Draft Adare Local Area Plan be zoned Open Space and Recreation.

Reason: To ensure adequate supply of appropriately located residential lands that would lead to compact growth and to ensure no overall loss of open space and recreation.

Proposed: Cllr Adam Teskey(Cathaoirleach)

Seconded: Cllr Kevin Sheahan

Amendments to Map 1 Land Use Zoning Map:

Proposed Amendment		Submission No.
1.	Amend the land use zoning map to zone an area of .111 hectares as Open Space and Recreation in the Manor Court Estate.	8
2.	Amend the land use zoning map to zone an area of .494 hectares along the railway for Agricultural purposes.	11
3.	Amend the land use zoning map to change the zoning of an area of .338 hectares from Open Space and Recreation to New Residential in site number 7 6 as identified in the Settlement Capacity Audit, which will decrease the area of land zoned Open Space and Recreation by .338 hectares.	103, 23
4.	Amend the Land use zoning map, to zone an additional area of .069 hectares for Utilities.	98
5.	Amend the Land use zoning map to change the zoning of an area of 1.5 hectares from Open Space and Recreation to Existing Residential, which will decrease the area of land zoned Open Space and Recreation by .069 hectares.	105
6.	Amend the Land Use Zoning Map to zone an additional .084 hectares at the western Adare Manor Estate from Open Space and Recreation to Tourism Related Development.	110
7.	Amend the Land Use Zoning Map to zone an additional .252 hectares at the western Adare Manor Estate from Education and Community to Tourism Related Development	110
8.	Amend the Land Use Zoning Map to zone an additional 4.278 hectares at the western Adare Manor Estate from Education and Community to Tourism Related Development.	110

Proposed Amendment/Motions from Elected Member	Elected Members
1. In relation to submission 96. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Seconded: Cllr Kevin Sheahan

2.	In relation to submission 21. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Secoded: Cllr Kevin Sheahan
3.	I will move that Limerick City and County Council changes the zoning on lands indicated in submission 69 to serviced sites. The lands adjacent to this site has been zoned as serviced sites in the Draft Adare LAP, however these lands are currently being developed and therefore should be zoned as existing housing allowing for the serviced sites zoning to be transferred to lands as indicated in submissions 69.	Proposed: Cllr Adam Teskey (Cathaoirleach). Secoded: Cllr Bridie Collins
4.	Submission number 112: That the lands in Ardshanbally Adare be rezoned from Agriculture to Existing Residential.	Proposed: Cllr Adam Teskey (Cathaoirleach). Secoded: Cllr Stephen Keary
5.	Submission number 56: I will resolve that lands in Graigue Adare should be re-zoned from Agricultural use in the Draft Local Area Plan to Serviced Sites use.	Proposed: Cllr Adam Teskey(Cathaoirleach). Secoded: Cllr Kevin Sheahan
6.	I move that lands identified in submission 111 zoned as Open Space and Recreation in the Draft Adare LAP be zoned New Residential and in turn lands identified in submission 66 zoned as Agriculture in the Draft Adare Local Area Plan be zoned Open Space and Recreation.	Proposed: Cllr Adam Teskey(Cathaoirleach) Secoded: Cllr Kevin Sheahan

Amendments to Map 2 Flood Map:

	Proposed Amendment	Submission No.
1.	Amend the Flood map to zone an area of .111 hectares as Open Space and Recreation in the Manor Court Estate.	8
2.	Amend the Flood map to zone an area of .494 hectares along the railway for Agricultural purposes.	11
3.	Amend the Flood map to change the zoning of an area of .338 hectares from Open Space and Recreation to New Residential in site number 7 <u>6</u> as identified in the Settlement Capacity Audit, which will decrease the area of land zoned Open Space and Recreation by .338 hectares.	103, 23
4.	Amend the Flood map, to zone an additional area of .069 hectares for Utilities.	98
5.	Amend the Flood map to change the zoning of an area of 1.5 hectares from Open Space and Recreation to Existing Residential, which will decrease the area of land zoned Open Space and Recreation by .069 hectares.	105
6.	Amend the Flood Map to zone an additional .084 hectares at the western Adare Manor Estate from Open Space and Recreation to Tourism Related Development.	110

7.	Amend the Flood Map to zone an additional .252 hectares at the western Adare Manor Estate from Education and Community to Tourism Related Development.	110
8.	Amend the Flood Map to zone an additional 4.278 hectares at the western Adare Manor Estate from Education and Community to Tourism Related Development.	110

Proposed Amendment/Motions from Elected Member		Elected Members
1.	In relation to submission 96. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Seconded: Cllr Kevin Sheahan
2.	In relation to submission 21. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Seconded: Cllr Kevin Sheahan
3.	I will move that Limerick City and County Council changes the zoning on lands indicated in submission 69 to serviced sites. The lands adjacent to this site has been zoned as serviced sites in the Draft Adare LAP, however these lands are currently being developed and therefore should be zoned as existing housing allowing for the serviced sites zoning to be transferred to lands as indicated in submissions 69.	Proposed: Cllr Adam Teskey (Cathaoirleach). Seconded: Cllr Bridie Collins
4.	Submission number 112: That the lands in Ardshanbally Adare be rezoned from Agriculture to Existing Residential.	Proposed: Cllr Adam Teskey (Cathaoirleach). Seconded: Cllr Stephen Keary
5.	Submission number 56: I will resolve that lands in Graigue Adare should be re-zoned from Agricultural use in the Draft Local Area Plan to Serviced Sites use.	Proposed: Cllr Adam Teskey(Cathaoirleach). Seconded: Cllr Kevin Sheahan
6.	I move that lands identified in submission 111 zoned as Open Space and Recreation in the Draft Adare LAP be zoned New Residential and in turn lands identified in submission 66 zoned as Agriculture in the Draft Adare Local Area Plan be zoned Open Space and Recreation.	Proposed: Cllr Adam Teskey(Cathaoirleach) Seconded: Cllr Kevin Sheahan

Amendments to Map 3 Amenity and Sustainable Transport Map:

Proposed Amendment		Submission No.
1.	Amend the Amenity and Sustainable Transport map to zone an area of .111 hectares as Open Space and Recreation in the Manor Court Estate.	8

2.	Amend the Amenity and Sustainable Transport Map to decrease the area of land zoned Open Space and Recreation in site number 7 <u>6</u> as identified in the Settlement Capacity Audit.	103, 23
4.	Amend the Amenity and Sustainable Transport Map, to identify the indicative location of the proposed Adare Bypass.	1

Proposed Amendment/Motions from Elected Member		Elected Members
1.	In relation to submission 96. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Seconded: Cllr Kevin Sheahan
2.	In relation to submission 21. The zoning should be retained as open space and recreation as was previous in the Local Area Plan 2015-2021(as extended).	Proposed: Cllr Adam Teskey (Cathaoirleach) Seconded: Cllr Kevin Sheahan
3.	I move that lands identified in submission 111 zoned as Open Space and Recreation in the Draft Adare LAP be zoned New Residential and in turn lands identified in submission 66 zoned as Agriculture in the Draft Adare Local Area Plan be zoned Open Space and Recreation.	Proposed: Cllr Adam Teskey(Cathaoirleach) Seconded: Cllr Kevin Sheahan

**Draft Adare
Local Area Plan
2024-2030**

Zoning Map

Material Alterations

Legend

- Agriculture
- Education and Community
- Enterprise and Employment
- Existing Residential
- New Residential
- Open Space and Recreation
- Proposed Natural Heritage Area
- Tourism Related Development
- Residential Serviced Sites
- Semi-Natural Open Space
- Special Control Area
- Village Centre
- Utilities
- LAP Boundary

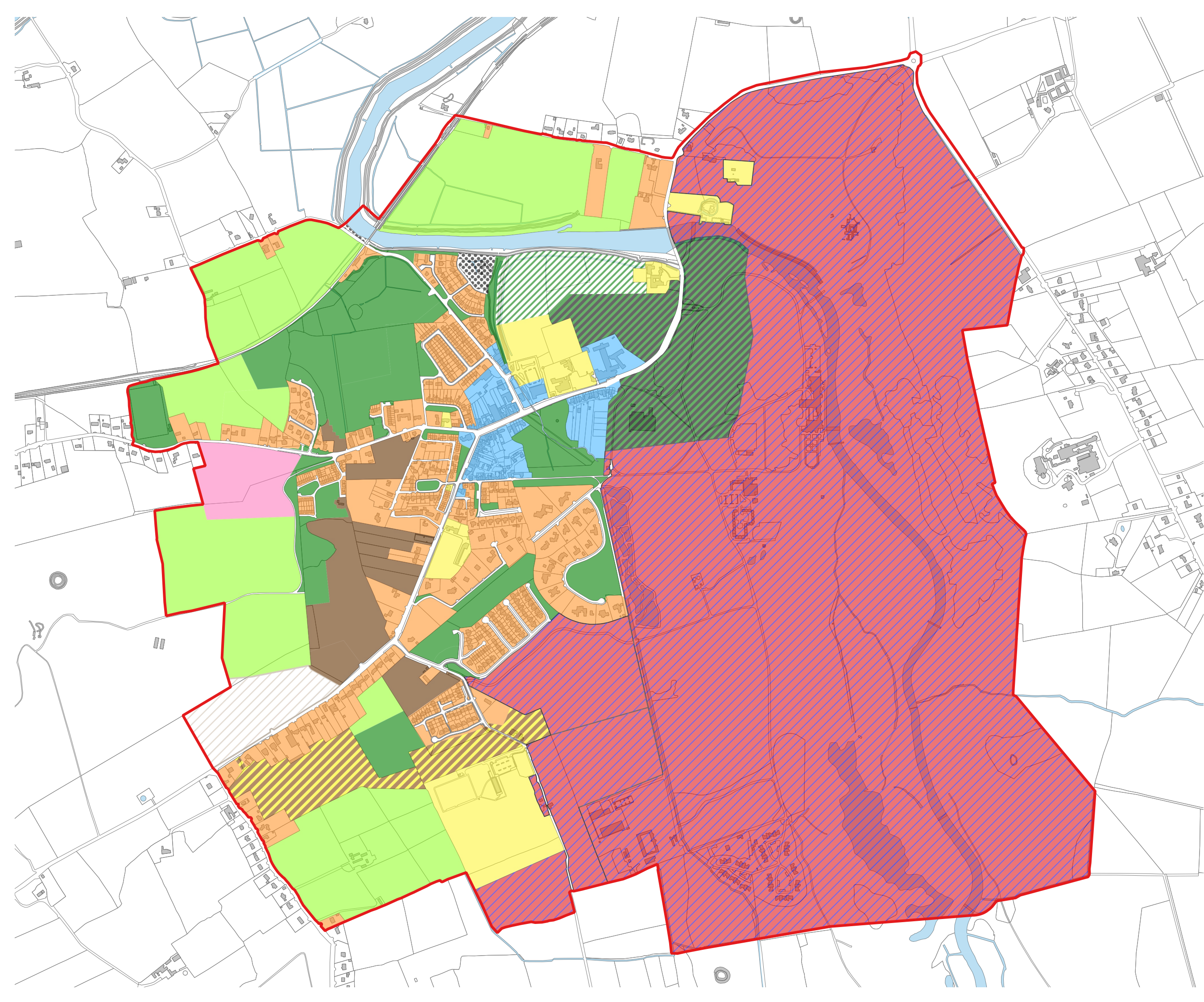
Forward Planning
Planning, Environment and
Place-making Directorate

Merchants Quay, Limerick
Tel: (061) 556600
E-mail: forwardplanning@limerick.ie

DATE: December 2023 Dwg. No. ADZN/24-30/R16

DRAWN BY: J.D. CHECKED BY: N.O'C

Taife Éireann LICENCE No. © National Mapping Division of Taife Éireann. All rights reserved. Licence number CYAL50252415






**Draft Adare
Local Area Plan
2024-2030**

Flood Map

Material Alterations

Legend

-  Flood Zone A
-  Flood Zone B
-  Agriculture
-  Education and Community
-  Enterprise and Employment
-  Existing Residential
-  New Residential
-  Open Space and Recreation
-  Proposed Natural Heritage Area
-  Tourism Related Development
-  Residential Serviced Sites
-  Semi-Natural Open Space
-  Special Control Area
-  Village Centre
-  Utilities
-  LAP Boundary

Forward Planning
Planning, Environment and
Place-making Directorate

Merchants Quay, Limerick
Tel: (061) 356600
E-mail: forwardplanning@limerick.ie

DATE: December 2023 Dwg. No. ADFD/24-30/R9

DRAWN BY: J.D. CHECKED BY: N.O'C









Táille Éireann LICENCE No. © National Mapping Division of Táille Éireann. All rights reserved. Licence number CYAL50252415

**Draft Adare
Local Area Plan
2024-2030**

**Amenity and Sustainable
Transport Map**

Material Alterations

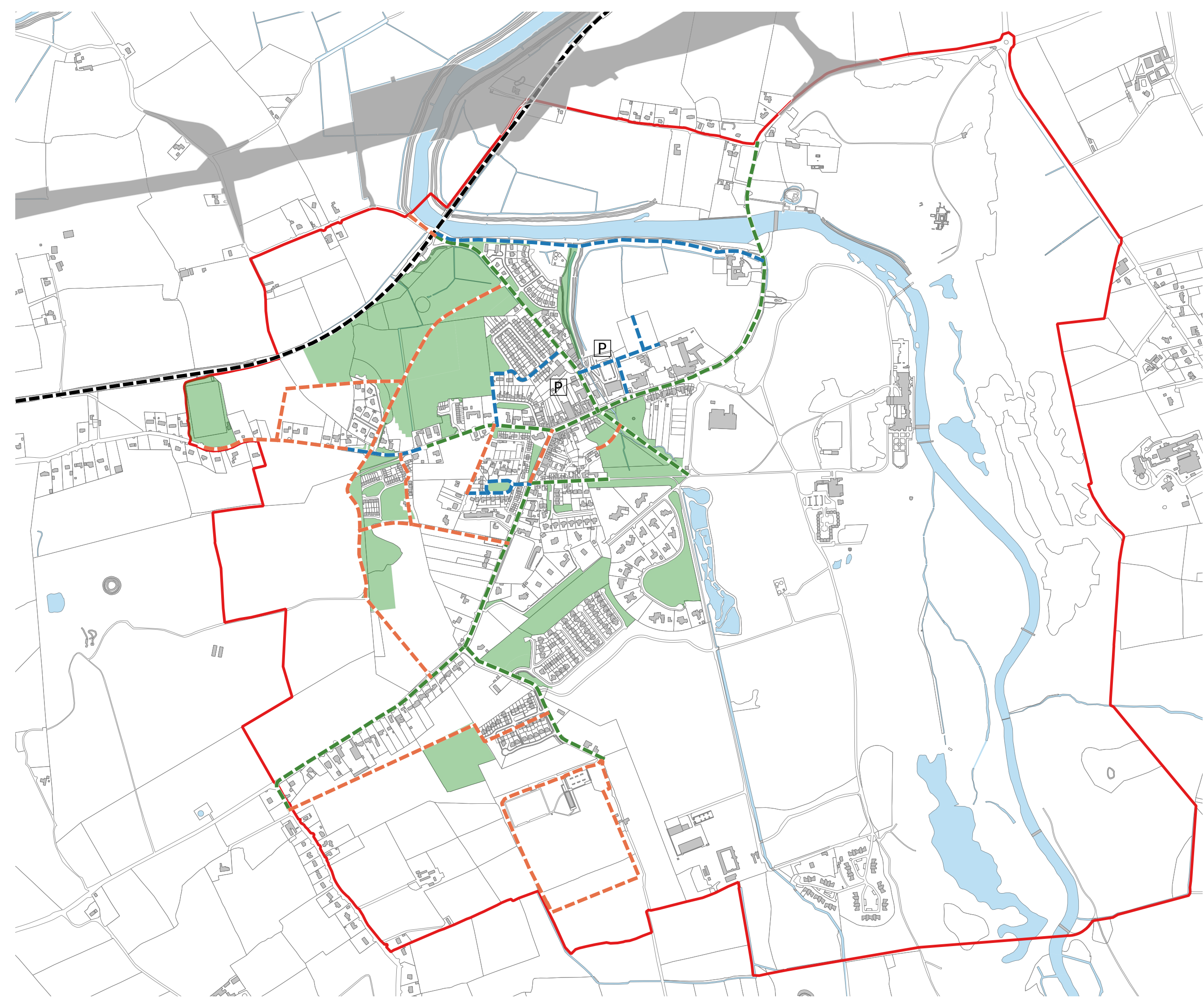
Legend

-  Foynes to Limerick Road (Including Adare Bypass) Landtake
-  Proposed Pedestrian/Cycle Routes/Links
-  Existing Pedestrian/Cycle Routes/Links
-  Proposed Enhancements to Existing Routes
-  Railway
-  Parking
-  Open Space and Recreation
-  LAP Boundary

Forward Planning
Planning, Environment and Place-making
Directorate

Merchants Quay, Limerick
Tel: (061) 556600
E-mail: forwardplanning@limerick.ie

DATE:	December 2023	Dwg. No.:	ADAT/23-29/R9
DRAWN BY:	J. D	CHECKED BY:	N.O'C
		SCALE:	NA
<small>Taille Éireann LICENCE No. © National Mapping Division of Tailte Éireann. All rights reserved. Licence number CYAL50252415</small>			



Zoning Changes Map

Material Alterations

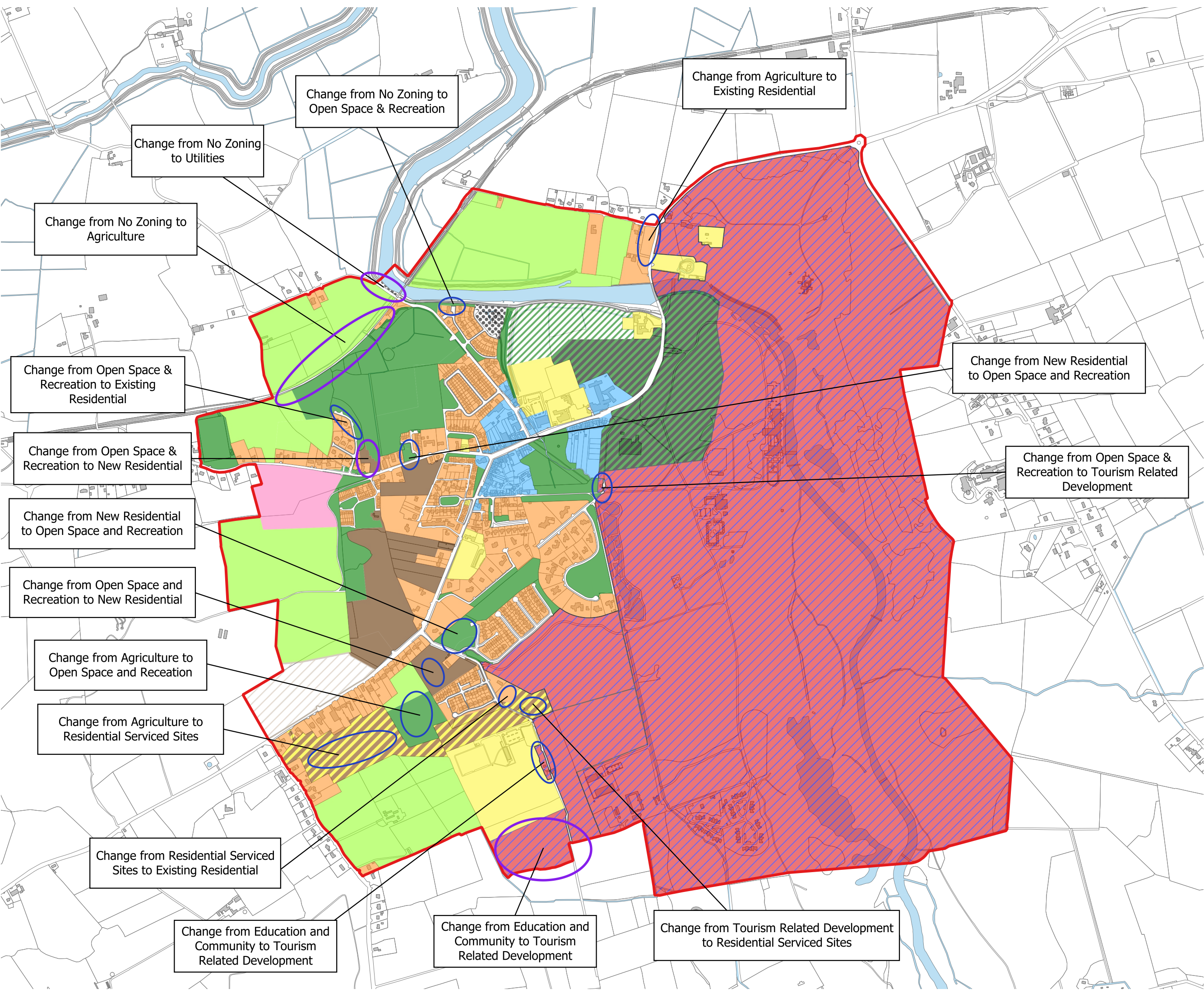
Legend

- Agriculture
- Education and Community
- Enterprise and Employment
- Existing Residential
- New Residential
- Open Space and Recreation
- Proposed Natural Heritage Area
- Tourism Related Development
- Residential Serviced Sites
- Semi-Natural Open Space
- Special Control Area
- Village Centre
- Utilities
- LAP Boundary

Forward Planning
Planning, Environment and
Place-making Directorate

Merchants Quay, Limerick
Tel: (061) 356600
E-mail: forwardplanning@limerick.ie

DATE: December 2023	Rev 2
DRAWN BY: J.D	CHECKED BY: N.O'C
<small>OSI LICENCE No. © Ordnance Survey Ireland. All rights reserved. Licence No. 2017/09/CCMA/Limerick City & County Council</small>	



Change from No Zoning to
Open Space & Recreation

Change from Agriculture to
Existing Residential

Change from No Zoning to
Utilities

Change from No Zoning to
Agriculture

Change from Open Space &
Recreation to Existing
Residential

Change from New Residential
to Open Space and Recreation

Change from Open Space &
Recreation to New Residential

Change from Open Space &
Recreation to Tourism Related
Development

Change from New Residential
to Open Space and Recreation

Change from Open Space and
Recreation to New Residential

Change from Agriculture to
Open Space and Recreation

Change from Agriculture to
Residential Serviced Sites

Change from Residential Serviced
Sites to Existing Residential

Change from Education and
Community to Tourism
Related Development

Change from Education and
Community to Tourism
Related Development

Change from Tourism Related Development
to Residential Serviced Sites

Material Alterations

Legend

- Settlement Capacity Audit Sites
- LAP Boundary

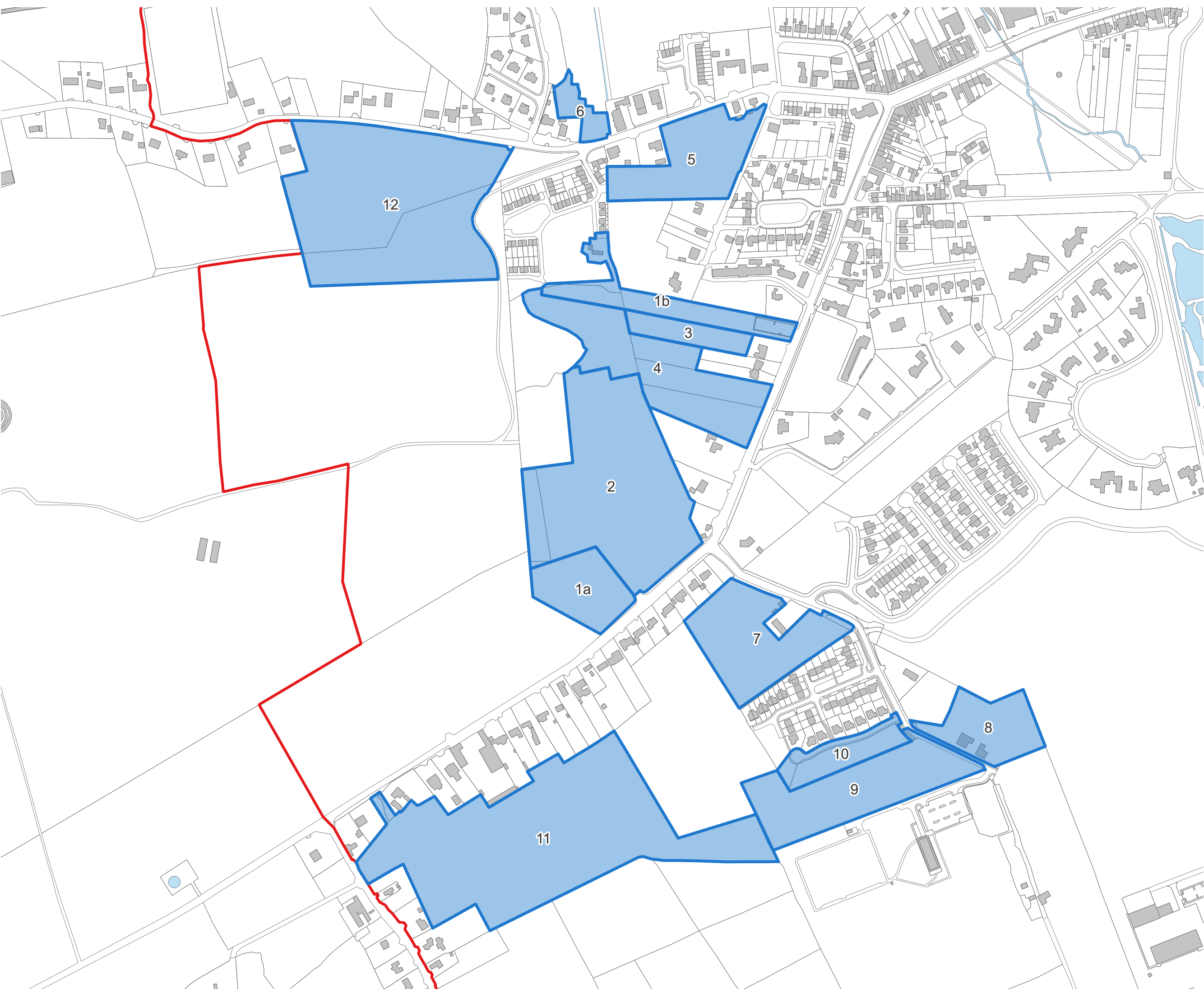
Forward Planning
Planning, Environment and
Place-making Directorate

Merchants Quay, Limerick
Tel: (061) 556600
E-mail: forwardplanning@limerick.ie

DATE: December 2023 Dwg. No. ADSCA/24-30/R6

DRAWN BY: J.D. CHECKED BY: N.O'C

Táille Éireann LICENCE No. © National Mapping Division of Táille Éireann. All rights reserved. Licence number CYAL50252415



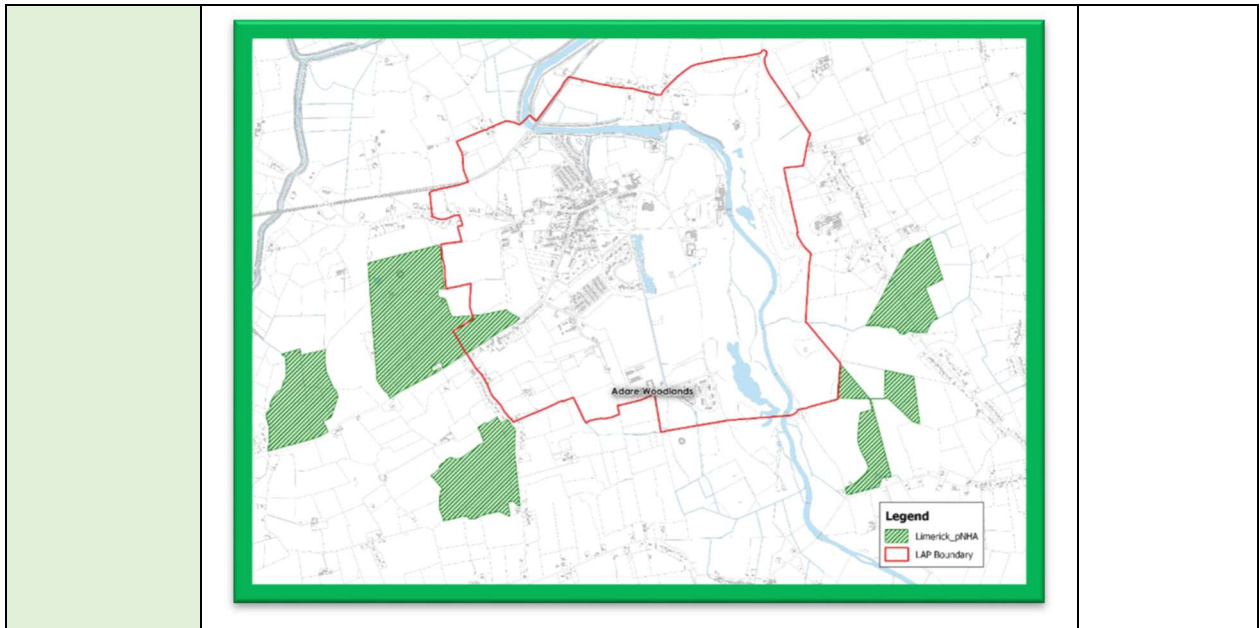
4.0 AMENDMENTS TO DRAFT PUBLIC REALM PLAN 2024-2030

Chapter 1: Introduction

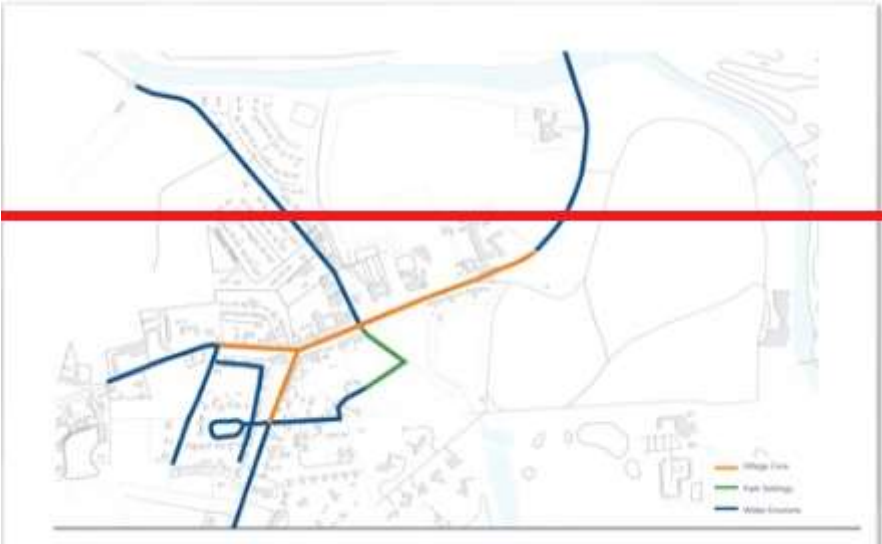
Text Amendment No.	Proposed Amendment	Submission No.								
1.	<p>Amend Table “Design Principles & Development Plan Alignment” to include the following:</p> <table border="1" data-bbox="405 568 1209 1662"> <thead> <tr> <th data-bbox="405 568 564 763">Public Realm Strategic Objective</th> <th data-bbox="564 568 724 763">Public Realm Principles</th> <th data-bbox="724 568 1002 763">Implications for the Public Realm</th> <th data-bbox="1002 568 1209 763">Development Plan Strategic Objective Alignment</th> </tr> </thead> <tbody> <tr> <td data-bbox="405 763 564 1662">PR – S03</td> <td data-bbox="564 763 724 1662">People-friendly and centred spaces</td> <td data-bbox="724 763 1002 1662"> <ul style="list-style-type: none"> • <u>Create a Liveable Village where individuals, families and person of all ages can live in the village for their entire life.</u> </td> <td data-bbox="1002 763 1209 1662">S03: Ensure new and existing residential development is of the highest quality, enabling life cycle choices and physical, community, recreation and amenity infrastructure are provided in tandem, to create sustainable, healthy, inclusive and resilient communities.</td> </tr> </tbody> </table>	Public Realm Strategic Objective	Public Realm Principles	Implications for the Public Realm	Development Plan Strategic Objective Alignment	PR – S03	People-friendly and centred spaces	<ul style="list-style-type: none"> • <u>Create a Liveable Village where individuals, families and person of all ages can live in the village for their entire life.</u> 	S03: Ensure new and existing residential development is of the highest quality, enabling life cycle choices and physical, community, recreation and amenity infrastructure are provided in tandem, to create sustainable, healthy, inclusive and resilient communities.	14
Public Realm Strategic Objective	Public Realm Principles	Implications for the Public Realm	Development Plan Strategic Objective Alignment							
PR – S03	People-friendly and centred spaces	<ul style="list-style-type: none"> • <u>Create a Liveable Village where individuals, families and person of all ages can live in the village for their entire life.</u> 	S03: Ensure new and existing residential development is of the highest quality, enabling life cycle choices and physical, community, recreation and amenity infrastructure are provided in tandem, to create sustainable, healthy, inclusive and resilient communities.							

Chapter 2: Understanding Adare


Text Amendment No.	Proposed Amendment	Submission No.
2.	Include a map of the Natural Heritage Areas showing the Woodlands of Adare	15



Chapter 3: Public Realm Opportunities

Text Amendment No.	Proposed Amendment	Submission No.
3.	<p>Amend Map on page 106 which shows Village Core materiality as orange amended to include Rathkeale Road extending to Scoil Naomh Iosaf entrance.</p>  <p>The map shows a red horizontal line across the middle. Below the line, an orange line represents the Village Core materiality, extending from the left towards the right. A green line represents Rathkeale Road, extending from the orange line towards the right. A blue line represents Water Courses, following the path of a stream. A legend in the bottom right corner identifies the lines: Village Core (Orange), Rathkeale Road (Green), and Water Courses (Blue).</p>	19



Text Amendment No.	Proposed Amendment	Submission No.
4.	<p>Amend Page 49 of Chapter 3 to omit the white outline from the lands identified as Adare Town Park.</p> 	91



Text Amendment No.	Proposed Amendment	Submission No.
5.	<p>Amend Draft Adare Public Realm Plan Chapter 3: Key Public Realm Opportunities under section 1: A Sustainable Green Infrastructure, on page 50 titled Walking & Cycling Strategy, text as follows:</p> <p>The following cycling proposal are being put forward subject to further analysis under the Traffic Management Plan.</p> <p><u>The following indicative cycling proposals are being put forward subject to further analysis under the Transport Plan, and will be informed by the National Transport Authority's Cycle Design Manual in collaboration with the NTA.</u></p>	11

Text Amendment No.	Proposed Amendment	Submission No.
6.	<p>Amend Draft Adare Public Realm Plan Chapter 3: Key Public Realm Opportunities, under section 3: Main Street Area on page 69 titled "Walking & Cycling Strategy", text as follows:</p> <p>The proposed cycle routes in this plan <u>are indicative</u>, and will be subject to further review under the future traffic management <u>transport</u> plan for Adare. Future designs must adhere to national standards outlined in the Design Manual for Urban Roads and Streets and the National Cycle Manual.</p> <p><u>Final design will be informed by the National Transport</u></p>	11

	Authority's Cycle Design Manual, and in collaboration with the NTA.	
--	---	--

General Text amendments across the Plan

Text Amendment No.	Proposed Amendment	Submission No.
7.	Amend all references to Traffic Management Plan to Transport Plan.	11

Text Amendment No.	Proposed Amendment	Submission No.
8.	Amend all references to the Castle in Adare to Desmond Castle, Adare.	13

5.0 AMENDMENTS TO STRATEGIC ENVIRONMENTAL ASSESSMENT AND NATURA IMPACT REPORT

Amend text in Section 6.5.6 in the NIR as follows:

Minor ~~No~~ changes in Open Space and Recreation have occurred as part of this plan

6.0 UPDATED STRATEGIC FLOOD RISK ASSESSMENT

1. Update Table 4-1 in the SFRA to reference the NIFM data source
2. Insert the following text in SFRA Section 8.5 Conclusion: That new highly vulnerable development is only appropriate in Flood Zone C and that new less vulnerable development is only appropriate in Flood Zone B or C. Existing development will need to be dealt with in accordance with Section 5.28 of the Planning Guidelines.
3. Update Section 5.5 of the SFRA as follows:
“Flood risk relating to groundwater has been screened under Section ~~5.4.4~~ and confirmed that Adare is not at risk from predicted or historic groundwater flooding”.
4. Update Section 7.6.1 of the SFRA to include the following text Arterial Drainage embankments should be regarded as informal defences, the purpose of which is to improve land for agriculture.