

Limerick City and County Council
Kings Island Flood Relief Scheme
Planning Report

Issue 1 | 19 December 2019

This report takes into account the particular instructions and requirements of our client.

It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party.

Job number 265565-00

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Appendix A

Applicant Fee Receipt

Appendix B

Copy of Newspaper Notices and Copy of Site Notice

Appendix C

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EIA Portal Confirmation Notice

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Copy of letter of 25th June 2019 from LCCC to ABP

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Letters of Support from Relevant Stakeholders

Appendix G

Emerging Preferred Option Public Information Day

1 Introduction and Background

1.1 Introduction

This planning report has been prepared by Arup on behalf of and in conjunction with Limerick City and County Council. This Report accompanies an application for consent for a major flood relief scheme in King's Island in Limerick City, which is being made directly to An Bord Pleanála under the provisions of Section 226 of the Planning and Development Act 2000, as amended (The Act).

1.2 Site Description

King's Island is situated in the centre of Limerick City and the island is formed by the bifurcation of the Abbey River and the River Shannon, before they converge again further south in the vicinity of the Potato Market, at the south west point of the Island. Both rivers are tidal at this location and the island has historically been susceptible to both tidal and fluvial flood risk. However, the most extreme flooding will only occur at times of extreme high tides.

The island is characterised by two distinct areas, the northern portion is known as St. Mary's Park, a residential development of mostly two storey semi-detached dwellings and surrounded by large open fields that act as a natural buffer running along the river's edge. Existing embankments form part of the river walk around the northern boundary of the island and are viewed as part of the natural landscape. These embankments were constructed for flood relief and result in the creation of wetland habitat to the northwest of the island as surface water became trapped by the embankment and could not infiltrate quickly through the clay soil. This wetland is now part of the Shannon SAC.

To the southwest of the island is Englishtown which is regarded as the historic core of Limerick City, home to cultural buildings like St. Mary's Cathedral and King John's Castle and includes restaurants, businesses and some residential dwellings built along the water's edge and is generally considered the more urban part of the island. Flood defence works are visible within the area and these include lengths of both formal and informal flood defences in the form of quay walls. However, there are no defences in place at the Potato Market or civic buildings on Merchant's Quay.

The road connections from the Island to the rest of Limerick City are all located on the southern half of the Island. There are four main access routes, one from Thomond, one from Corbally, and two from the City Centre. There is limited access to St. Mary's Park with only one main entrance from Island Road, which is at a roundabout onto St. Ita's Street.

1.3 Flood History and the need for Flood Defence Measures

King's Island and the surrounding area was badly flooded in early 2014 when there was an extremely high tide that overtopped the embankments around the Island and caused them to fail in one location. Further flooding was experienced in 2016 as a result of another storm surge event in the Shannon Estuary. The flooding in 2016 was confined to Merchant's Quay, as the sandbags around the Island contained the tidal surge, with the flood defences which had just been completed by Limerick City & County Council (LCCC) at Verdant Place also proving effective.

A major improvement on the existing temporary flood defences is required around the entire island to reduce the frequency of extreme events which inundate the island. Accordingly, following a public competition, Arup in association with JBA Consulting were commissioned by LCCC to provide engineering and environmental services for the King's Island Flood Relief Scheme (the Scheme).

1.4 The Proposed Development

The development being proposed by Limerick City and County Council, in conjunction with the Office of Public Works, consists of a series of proposed flood protection measures around King's Island. The measures primarily include both new and upgraded flood defence walls, generally clad in stone, as well as incorporating glazed flood defence panels in the urban areas, and earthen embankments, in addition to associated drainage and public realm improvements.

The proposed development provides protection to properties in the protected areas to an internationally recognised design standard of the 1 in 200-year tidal flood event (0.5% Annual Exceedance Probability (AEP) event). This is the normal standard of protection adopted by OPW nationally for coastal flood protection.

The defence level adopted incorporates an appropriate freeboard allowance to account for uncertainty. Where feasible, the proposed defences have also been designed so that they can be efficiently and economically raised in the future, either permanently or through the use of demountable barriers to respond to projected increases in mean sea levels. (Such a change would require a further separate statutory consent in the future and does not form part of this application).

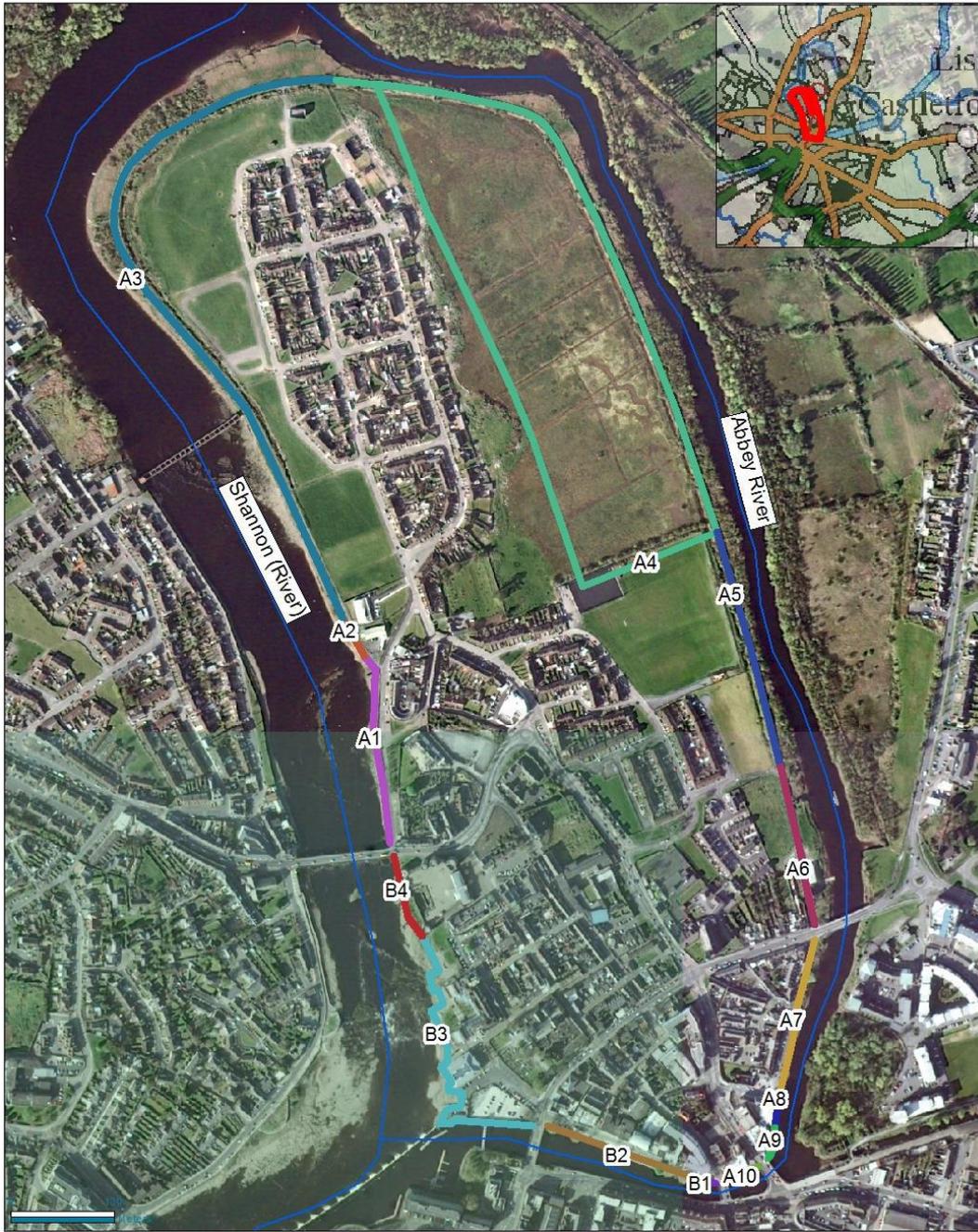
There are two discrete flood cells on the island, Flood Cells A and B. Areas of work have been broken down further within these flood cells. Refer to Figure 1 for further details.

Flood Cell A includes the northern, more residential and agricultural part of King's Island which currently already benefits from a level of flood protection primarily provided by historic embankments augmented by temporary sandbags. Walls also contribute to the perimeter protection in some locations. One of the key constraints in this area is the Lower River Shannon Special Area of Conservation (SAC) and the proximity of its boundary relative to the proposed flood defences.

For ease of reference, Flood Cell A has been broken into ten sub-areas, numbered A1 to A10. The proposed flood defence development in this area consists mainly of new earthen embankments, with a limited number of new flood defence walls.

Flood Cell B covers the southern and more commercial part of King's Island. Where there is existing flood protection, it is in the form of the historic quay walls. However, there is no existing defence provision around the Potato Market and the civic buildings on Merchant's Quay. Designing new flood defence measures so that they relate well to the existing built environment is the key constraint in the south of the island. Flood Cell B is broken into four sub-areas, numbered B1 to B4. The proposed flood defence development in this area consists mainly of new flood walls, many of which include proprietary glazed flood defence elements, constructed atop of the historic quay walls which will be carefully repaired and strengthened, to secure their integrity into the future.

Figure 1: Plan of Flood Cell Layouts



2 Application Details

2.1 Applicant's Details

Limerick City & County Council is the Applicant for the proposed King's Island Flood Defence Scheme.

Limerick City and County Council's address is Limerick City and County Council, Corporate Headquarters, Merchants Quay, Limerick.

We would however request that any An Bord Pleanála correspondence relating to this planning application be sent to the following contact address:

Kieran O'Gorman, Limerick City and County Council, Merchants Quay, Limerick, V94 EH90

2.2 Application Fee

The prescribed fee of €30,000, for Local Authority development requiring an EIAR (Section 226 of The Act), has been transferred to An Bord Pleanála by electronic transfer. See Appendix A for a copy of the payment of fees receipt.

2.3 Application Structure

The proposed application covers a wide range of reports and associated supporting documentation in order to assist An Bord Pleanála in its assessment of the Proposed Development.

The structure of the S226 application for approval generally consists of the following:

- Application Plans and Particulars
- Letters of support from landowners
- Planning Application Report
- Landscape Strategy
- Appropriate Assessment Screening/Natura Impact Statement; and
- Environmental Impact Assessment Report and Appendices.

The application has been prepared by a Design Team lead by Arup, but which includes the following additional specialist consultants:

- Arup
- JBA Consulting
- Nicholas de Jong Associates Urban Design.
- Moore Archaeological and Environmental Services Ltd.
- AONA Environmental Consulting.

2.4 List of Enclosures

3 no. hard copies of the application have been submitted to An Bord Pleanála along with 2 no. digital copies in accordance with the Planning & Development Regulations

The necessary copies are being issued to the Planning Authority (Limerick City and County Council) and prescribed bodies.

Please find enclosed the following with this S. 226 Application;

- Cover letter to An Bord Pleanála;
- Copy of Newspaper Notices published in the Irish Independent and the Limerick Leader on 19 December 2019;
- Copy of Site Notice erected on site on 18 October 2019;
- This Planning Application Report, which includes the following appendices:
 - Appendix A: Application Fee Receipt
 - Appendix B: Copy of Newspaper Notices and Copy of Site Notice;
 - Appendix C: Copy of Letters to Prescribed Bodies
 - Appendix D: EIA Portal Confirmation Notice
 - Appendix F: Copy of letter of 25 June 2019 from LCCC to ABP
 - Appendix F: Letters of Support from Relevant Stakeholders
 - Appendix G: Emerging Preferred Option Public Information Day
- Landscape and Public Realm Strategy document;
- Appropriate Assessment (AA) Screening Report and Natura Impact Statement (NIS)
- Environmental Impact Assessment Report (EIAR)
- Photomontages;
- Drawings consisting of plans, sections and details of engineered flood defence structures, drainage, lighting, and public realm features
- Arborist Report

2.5 Planning Drawings

The drawings enclosed with this application have been screened with reference to the Planning and Development Regulations and are consistent with the spirit and intent of same.

2.6 Public Notices

In terms of Public Notices, a Newspaper Notice was placed in the Limerick Leader and the Irish Independent on 19 December 2019.

The Site Notices were erected on 18 December 2019 on a white background at the subject site. A copy of the Site Notice and each Newspaper Notice are enclosed in Appendix B

18 no. Site Notices have been erected at the following locations:

- 1 No. Notice on post at start of walking track north of St Mary's Park
- 1 No. Notice fixed to telecom pole north of the running track, west of St Mary's Park
- 1 No. Notice on Post on Derelict site 82 St Munchins Street
- 1 No. Notice on 2' Railing section at entrance to Kings Island Community Crèche
- 1 No. Notice fixed to railing at the southern end of St Ita's Street
- 1 No. Notice fixed to railing at the southern end of Verdant Place, beside Thomond Bridge
- 1 No. Notice fixed to telecom pole on the eastern side of Assumpta Park, west of the Athlunkard Villa FC sports grounds
- 1 No. Notice fixed to 1st panel of Railing at day care centre
- 1 No. Notice on post on grassed area east of Assumpta Park
- 1 No. Notice on railing at start of walking track beside Athlunkard Boat Club
- 1 No. Notice fixed to wall on St Harrys Mall
- 1 No. Notice fixed to wall on Georges Quay east of Baal's Bridge
- 1 No. Notice fixed to wall on Georges Quay west of Baal's Bridge
- 1 No. Notice fixed to wall on Georges Quay opposite the Locke Bar
- 1 No. Notice fixed to Potato Market car park railing on Bridge Street side
- 1 No. Notice fixed to railing at Courthouse
- 1 No. Notice fixed to railing at river edge at between Merchant's Quay City Hall and King Jonh's Castle
- 1 No. Notice on Post on grassed area near Corbally Roundabout

The location of 18 no. site notices are illustrated on the accompanying Site Location Map, prepared by Arup. This can be found in Appendix B.

The large number of notices were erected to ensure in so far as possible that any persons likely to be affected by the works are made aware of the lodgement of this application and of the opportunity to make a submission.

2.7 List of Prescribed Bodies issued with copy of Application

Prior to lodgement of this application to An Bord Pleanála, a copy of the application plans & particulars, including the Environmental Impact Assessment Report has been issued to the appropriate Prescribed Bodies outlined in the Regulations.

A list of the Prescribed Authorities will be issued a copy of the application are as follows:

1. Environmental Health and Emergency Planning, Health Service Executive.
2. Development Applications Unit – Department of Culture, Heritage and the Gaeltacht
3. Irish Water
4. Inland Fisheries Ireland
5. Waterways Ireland
6. An Taisce
7. The Office of Public Works – Head Office
8. The Office of Public Works – National Monuments
9. Clare County Council
10. Department of Housing, Planning and Local Government
11. Southern Regional Assembly
12. The Heritage Council

A copy of the letter to be sent each Prescribed Body is enclosed with this application.

The non-prescribed bodies who will be issued with a copy of the application are as follows:

1. ESB
2. DTTAS Emergency Planning Unit

The following internal referrals will be made within Limerick City and County Council

3. Planning & Environmental Services
4. Physical Development
5. Forward Planning
6. Archaeology
7. Conservation
8. Heritage Officer
9. Operations

2.8 Pre-Planning Consultation with An Bord Pleanála

Under Section 226 of the Planning and Development Act, there is no mechanism in which to engage in pre-planning consultation with An Bord Pleanála prior to lodgement of the application. However, the applicant, Limerick City and County Council issued a letter to An Bord Pleanála dated 25 June 2019, informing An Bord Pleanála of its intention to lodge an application under Section 226 of the Planning and Development Act 2000 (as amended) for the proposed Scheme.

2.9 Dept. of Environment, EIAR Portal

Prior to lodgement of this application, the Department of Housing, Planning and Local Government has been notified of the EIAR that accompanies this application and of the locations at which it can be viewed along with the application plans and particulars.

Acknowledgement of this submission to the Department is enclosed with this application to An Bord Pleanála. This can be found in Appendix D.

2.10 Website

In addition to making hard copies of the application plans & particulars and the EIAR available for public inspection at the offices of An Bord Pleanála and Limerick City & County Council, the application, drawings, NIS and EIAR are also available to view and download at the following website address:

<http://www.kingsislandfrs.ie/downloads>

This website contains a complete set of the plans and particulars submitted with this S226 approval and is structured, as follows;

- Application Documents including Planning, Architecture, Engineering, Landscaping Reports;
- Application Drawings including Architecture, Engineering and Landscaping Drawings; and
- Environmental Impact Assessment Report and Appendices.
- Natura Impact Statement and Appendices

3 Detailed Description of the Works in each area

3.1 Area A1 - Thomond Bridge and Verdant Place (Ch 0000 to 0260)

Area A1 extends north from Thomond Bridge along Verdant Place to where the footpath on the western side of the island meets the public road.

A new flood defence has already been constructed for this area as part of the advanced flood defence worked for Verdant Place, which was completed in 2017.

At the time the original wall was raised by circa 0.6m to form the external (river side) face of a new reinforced concrete flood defence wall constructed immediately on the inside of the existing masonry wall. The inside of the wall (road side) of Verdant Place was clad with stone to resemble the outside of the wall (river side). It was then capped with a concrete coping. Details were agreed at the time in consultation with LCCC's relevant heritage and architectural professionals and were constructed under a Part 8 consent granted by LCCC.

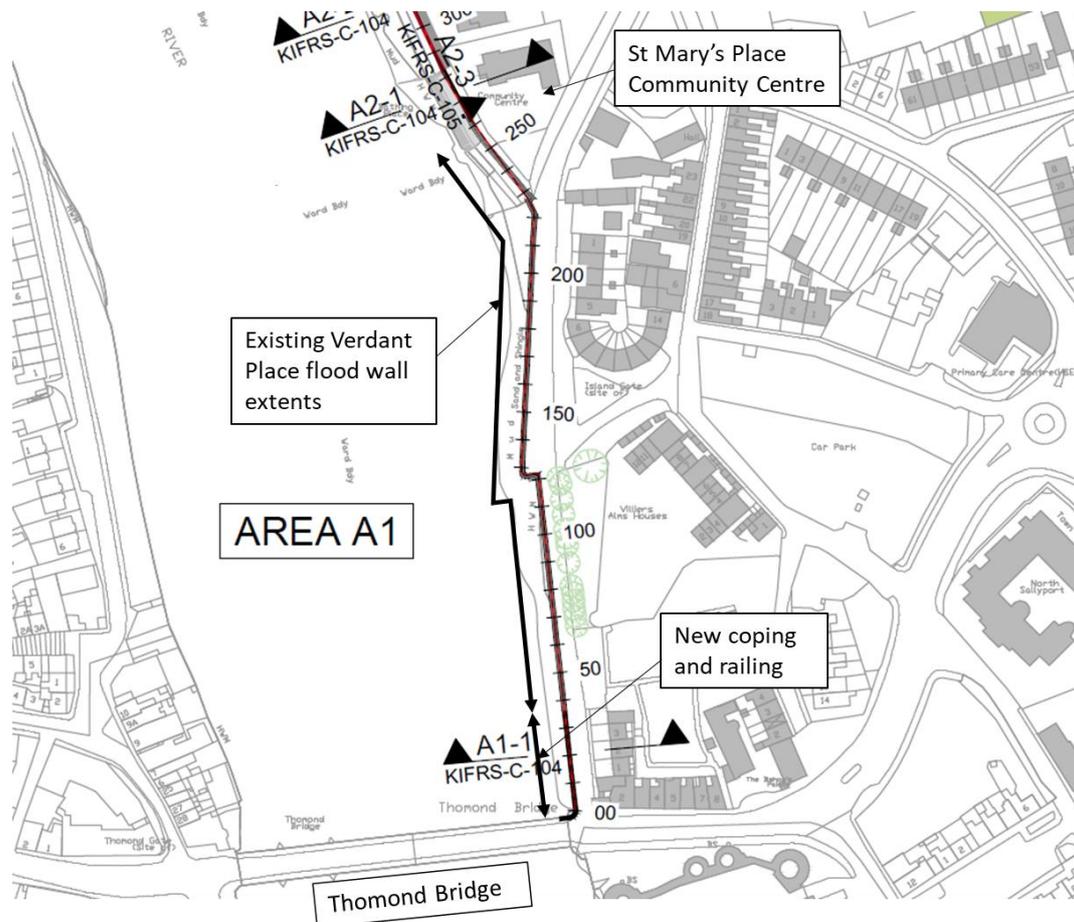
A shorter section of the wall to the south, is lower than the northern section relative to footpath level and was not altered as the ground level is already above the flood defence level as it rises up towards Thomond Bridge, but a temporary railing was installed on the landward side of the wall to provide guard protection.

Subsequent to the previous work, the much lighter colour of the concrete coping relative to the rest of the wall, is considered to be too stark, especially when viewed from the river side. To resolve this, it is now proposed to paint the coping in a darker shade of grey to blend in better with the surrounding environment and wall cladding.

It is also proposed to replace the existing safety railing on the southern section of wall with a new concrete coping and railing to meet the required pedestrian and cyclist guarding height of 1.2m above ground level. This will not have a flood defence function as the existing ground level is above the predicted flood defence level. The new coping will also be painted a darker shade of grey as per the above. The location and extent of these works is shown in Figure 2.

No existing services will be disrupted or diverted as a result of the proposed works.

Figure 2: Area A1 Location



3.2 Area A2 - Verdant Place Steps and Crèche (Ch 0260 to 0365)

To the west of the crèche, an old embankment exists along the SAC boundary, but is in poor repair. Between the crèche fence and the embankment, there is a circa 1.5m wide footpath. The Verdant Place River Access Steps are located to the south west of the crèche and lead down to the edge of the River Shannon. The flood defence works carried out in 2017 included the addition of a temporary concrete barrier where the Verdant Place steps are located, and the addition of an access staircase over the defence wall which leads down onto the steps. This was installed as a temporary measure to provide some protection to the crèche, as the top steps are much lower than the required flood defence level.

South of the crèche, there is not enough space to accommodate a new flood defence embankment between the walkway without encroaching into the SAC. It is therefore proposed instead to replace the old embankment and temporary concrete barriers with a new stone clad reinforced concrete flood defence wall, approximately 70m in length and 1.2m in height. This stretch of wall will require piled foundations due to the poor ground conditions in the area.

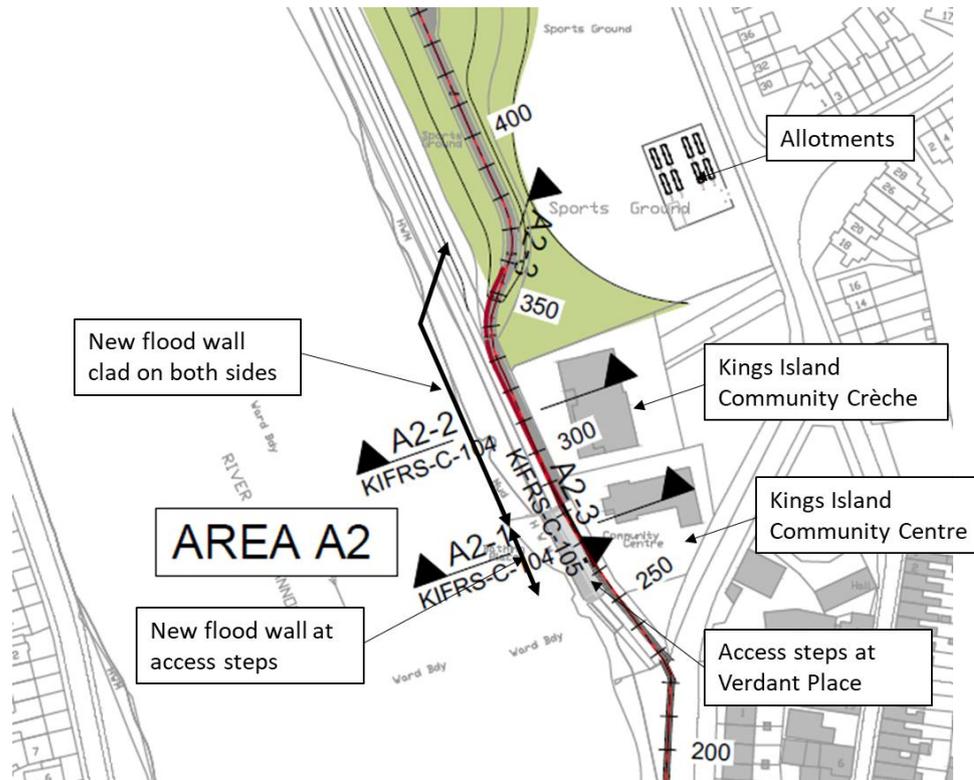
The section of new wall around the Verdant Place Steps will be designed to match the existing section of wall in this area and will be painted grey in the same way as outlined for Area A1 above. The access staircase will not be painted to provide contrast and will be left in place to provide access over the flood defences and down to the Verdant Place steps, as it is used by locals for recreation and to access the River Shannon. The new section of proposed wall will extend northward from the crèche until the point where the proposed embankment (described in the following section) and walkway achieves a ground elevation at flood defence level of 5.3mOD. It will finish with a pier at this location. This new section of defence wall will be stone faced on both sides. The existing footpath alongside the new wall will be raised to a minimum level of 4.1mOD and slope to maintain a relative wall height of 1.2m. The footpath will be a bitmac surface and will tie in to the existing walkway and the new walkway along the proposed flood defence embankments. The raising of the existing walkway will maintain views of the River Shannon along the pathway. Street lighting will be provided along this stretch with lighting columns which are 6m in height, and will be consistent with the lighting proposed along the flood defence embankments around the north of the island.

LED light fittings of a warm spectrum preferred for bats, mounted on 6m poles will be provided along the pedestrian pathway of this stretch. The lights will be positioned at approximately 30m centres facing away from the River Shannon to minimise light spillage into the SAC.

There is an existing storm outfall immediately west of St Mary's Crèche and Community Centre. The existing non return valve is damaged and will be replaced as part of the proposed Scheme. An overflow will be provided to the filter drain and swales to the north for storage during pluvial events while the outfall is surcharged.

The location and extent of these works is shown in Figure 3.

Figure 3: Area A2 Location



3.3 Area A3 - North West Embankment (Ch 0365 to 1250)

There is currently an existing embankment encircling the north of the island with an associated footpath running along its crest. Approximately 520m of the existing embankment's length is located within the SAC. Large sandbags were previously installed as temporary flood defence measures along the embankment crest, during a previous high flood event. However, many of these sandbags are damaged and no longer provide adequate protection. There is an open drain on the landward (eastern) side of the existing embankment which currently contains a protected species, pondweed (*Groenlandia densa*).

It is proposed to remove the existing footpath, concrete stub wall and sandbags and construct a new embankment along 920m of the northwest perimeter of the island, set back on the inside of the existing embankments.

The crest of the new embankment will be at the flood defence level of 5.3mOD. It will have a crest width of 5m and be constructed of a low permeability clay core. Local widening will occur at discrete points to allow for the future provision of street furniture and outdoor exercise equipment by LCCC.

The embankment core will typically have a maximum side slope of 1 in 3 on both sides. In many cases, the final side slopes will be much shallower to form a sinuous landscaped embankment. The shallower sides slopes, outside of the clay core, will be constructed of general fill, making use of suitable excavated material to minimise the need for offsite disposal.

A hollow between the new and old embankments will be avoided by infilling the area with suitable fill, thus avoiding any potential for standing water in this location. The embankment surface will consist of meadow grassland. The total width of the embankment will range from 16 to 70m but will vary at different locations and is designed to blend into the open landscape around St. Mary's Park. A new bitmac footpath (3m wide) will be constructed along the embankment crest tying into cross connecting paths to the St. Mary's Park residential estate to the east and south.

The proposed embankment will envelop the existing drainage ditch which currently contains the protected pondweed. Along the northwest corner of the island, a replacement open ditch is proposed on the inside of the proposed embankment. This open ditch provides replacement conditions for the pondweed (*Groenlandia densa*) to be translocated under licence from the existing ditch.

The plants, plant fragments and sediment will be removed from the existing ditch, stored, monitored and maintained. It will then be placed in the new open drain prepared with sediment traps etc as per the NPWS requirements. Direct transfer without storage may also be agreed with the NPWS. The existing drainage ditch will be infilled once the protected species has been translocated.

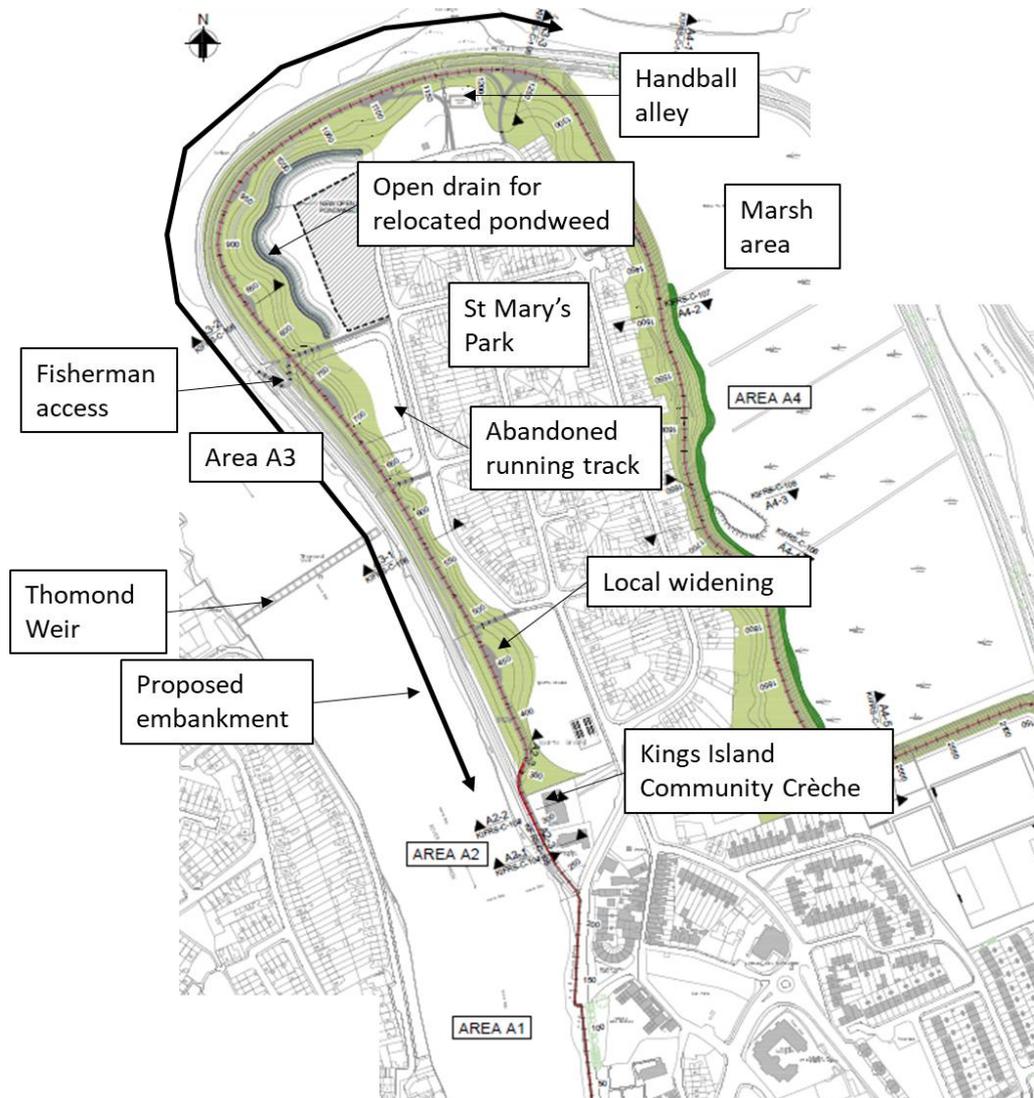
Filter drains are proposed on the inside of the proposed embankments to the north and south of the proposed open ditch.

There is an existing outfall to the River Shannon towards the north-west corner of the island, taking discharge from an existing open drain on the inside of the existing embankment. As part of the Scheme, this outfall will be decommissioned, with a new outfall being constructed taking discharge from the southern end of the new open ditch.

It is proposed to provide an access ramp adjacent to the embankment to allow fishermen access the existing mooring points in the area between Ch. 0850 and 0950.

LED light fittings of a warm spectrum preferred for bats, mounted on 6m poles will be provided along the pedestrian pathway of this stretch. The lights will be positioned at approximately 30m centres facing away from the River Shannon to minimise light spillage into the SAC.

Figure 4: Area A3 Location



3.4 Area A4 - North East Embankment (Ch 1250 to 1920)

Similar to the north west of the island, there is an existing embankment in poor repair wrapping around the perimeter of the island (within the SAC), It also includes large sandbags which are badly damaged. A section of this embankment was breached in the past and has since been temporarily repaired with sheet piling that protrudes out of the ground by more than 2 meters in some places. There is a historic remediated landfill to the rear of the houses along St. Munchin's Street and further south a bund has been created where Japanese Knotweed removed from elsewhere was placed.

The proposed flood defence embankment is approximately 850m in length and is to run along the rear of the houses on St. Munchin's Street. Where the embankment passes by the existing Japanese Knotweed bund, a small part at the northern end of the bund will need to be excavated locally to provide sufficient space for the embankment corridor.

The excavated material will be replaced on top of the existing bund (not within the SAC) which will be reprofiled. This work will be undertaken in accordance with current best practice with regard to invasive species. The bund will subsequently be treated on site as part of a multi-year eradication programme.

The dimensions of the embankment will be similar to the north west embankment, (5m crest width), composed of a low permeability clay, subsoil and seeded with meadow grassland. As the embankment will be constrained for space (by the rear of the back gardens of the houses on St. Munchin's Street to the west, and the SAC to the east), its side slopes will not be graded to the same extent as in St. Mary's Park. A number of connecting paths will be provided to connect St. Munchin's Street to the embankment walkway.

Street lighting will be installed on the outside of the walkway, similar to the proposal at the north west embankments. Semi-mature tree planting will be implemented between the houses on the eastern edge of St Mary's Park and the embankment to restrict views into the properties from the raised ground level. The extent of this tree planting will be agreed with local residents during the construction phase of the scheme.

At present, overland flows from the rear of houses fronting onto St Munchin's Street discharge to the SAC and ultimately to the Abbey River via the 'Green Lady' outfall which is located towards the north-east of the Island.

Drainage from the inside of the new flood embankment will be conveyed to extended open drains within the SAC. It is proposed that the outfall and head walls will be constructed outside of the SAC prior to extending the existing open drains to connect with same. The northernmost outfall through the eastern embankment will discharge at ground level outside of the SAC boundary. Non-return valves will be provided to all outfalls.

Filter drains will be installed on the inside of the embankments and will discharge through the embankment and into open drains within the SAC. There are existing open drains within the SAC area which will be extended to meet the outlet at the new embankments. The northernmost outfall through the eastern embankment will discharge at ground level outside of the SAC boundary. Non-return valves will be provided to all outfalls. The filter drain running along the inside of the embankment at the southern end of area A4 will discharge to the existing open drain to the north of Star Rovers.

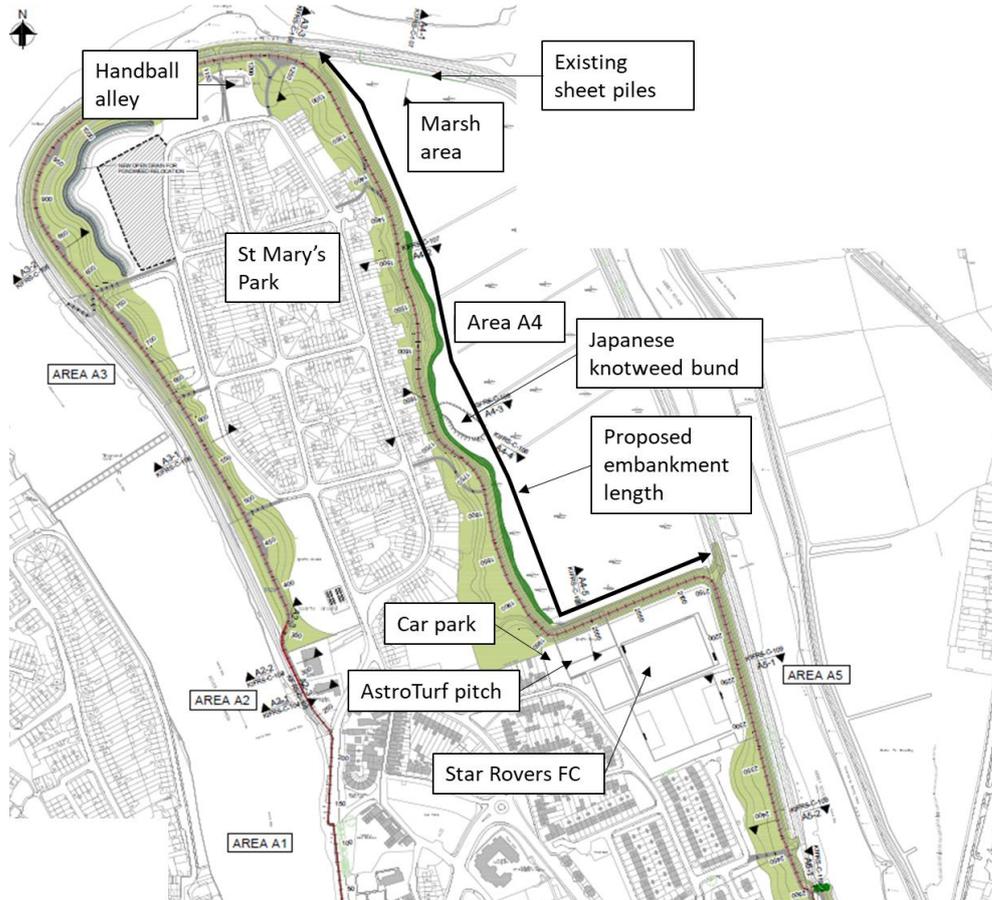
The footpath along the existing embankments on the eastern side of the island adjacent to the River Abbey will remain in place. The short length of existing path adjacent to and inside the sheet piling will be repaired with the sheet piles cut down, removing the current break in the existing walkway to form a defined pathway to encourage a continuous walking route along the river edge.

This will help avoid encroachment onto the SAC which borders the alignment of the sheet piles. The sheet piling will be cut down to below ground level and backfilled with existing soil. The bitmac footpath in this location will be reinstated adjacent to the sheet piling.

LED light fittings of a warm spectrum preferred for bats, mounted on 6m poles will be provided along the pedestrian pathway of this stretch. The lights will be positioned at approximately 30m centres facing away from the Abbey River to minimise light spillage into the SAC.

The location and extents of these works is shown in Figure 5

Figure 5: Area A4 Location



3.5 Area A5 - Star Rovers to Athlunkard Boat Club (Ch 1920 to 2500)

The existing embankment and sandbags are in a state of disrepair and continue along the perimeter of the island until the boundary of the Athlunkard Boat Club. An existing open drain runs along the perimeter of the Star Rovers pitches.

The proposed flood defence embankment will extend approximately 400m around the northern and eastern sides of the sports fields until it reaches the northern boundary of Athlunkard Boat Club. The dimensions of the embankment will be similar to the north west embankment, composed of low permeability clay, subsoil and seeded with meadow grassland.

Topsoil excavation will be required underneath the entire footprint of the clay embankment.

This will be completed under licence with full archaeological monitoring. The topsoil will be stockpiled and stored on site for later reuse on the proposed embankment.

The SAC is very closely aligned to the northern and eastern sides of the Star Rovers FC pitches. The embankment side slopes will therefore be reduced to minimise encroachment onto the area of the pitches whilst avoiding the need for any alterations to the east-west open drain defining the boundary of the SAC.

The existing north south open drain will be filled with impermeable fill for the formation of the proposed embankment. This will be replaced by a filter drain on the dry side of the embankment, which will pick up any existing field drains. The infilling of this drain has been agreed with the NPWS. The embankment slope will be tied in to the existing embankment using landscaping fill.

In order to provide sufficient space for the proposed embankment along the northern side of the Star Rovers pitches, the AstroTurf pitch will be partially relocated further south by approximately 17m. This will result in temporary disruption to the playing area during construction and the loss of 6 parking spaces and storage area on the western side, accessed from Assumpta Park. A row of semi mature trees will be planted along the western edge of the sports area to screen the training pitches from residents in Assumpta Park.

A 2m high paladin boundary security fence will be erected, offset 3m from the base of the embankment. as it wraps around the grass pitches. High ball-stop netting will also be erected behind the goals of both the Star Rover FC and Athlunkard FC pitches.

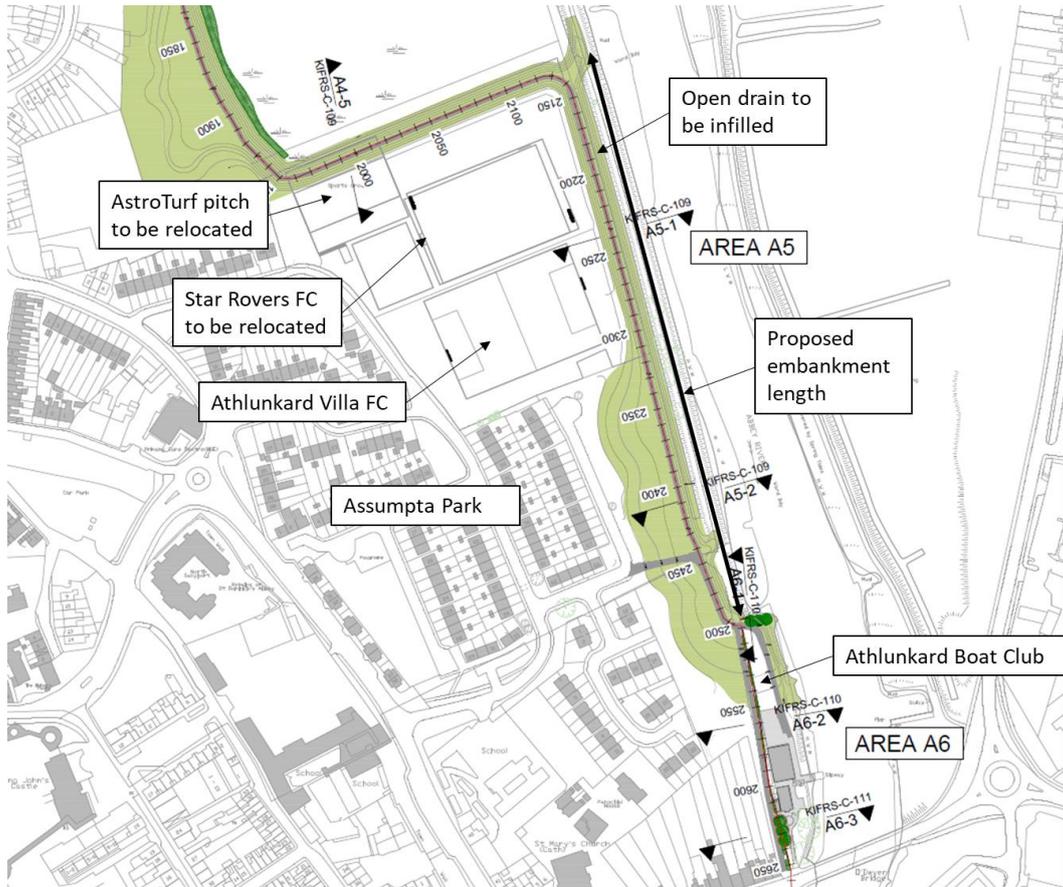
Drainage from the inside of the proposed new embankment both to the north and east of the Star Rovers pitch will discharge to the existing open drain at the south-east corner of the SAC. This drainage will also pick up any existing drainage from the playing pitches. A non-return valve will be provided to the proposed outfall.

The existing pole mounted floodlights at the AstroTurf pitch will be relocated to match new location of the pitch. LED light fittings of a warm spectrum preferred for bats, mounted on 6m poles will be provided along the pedestrian pathway of this stretch. The lights will be positioned at approximately 30m centres facing away from the Abbey River to minimise light spillage into the SAC.

Six mature trees. 3 nr. Horse Chestnut trees, 2 nr. Lime trees and 1 nr Sycamore are to be removed along the alignment of the proposed embankment parallel to the Abbey River to facilitate construction. These trees were surveyed by an arborist in early 2019. The arborist's report concluded that they had suffered varying degrees of vandalism, for example significant fire damage to the base, as well as upper canopy storm damage and should be considered for removal in the interest of health and safety. A row of trees will be planted along the western edge of the sports area to reduce the visual impact of training pitches for residents in Assumpta Park.

The location and extents of these works is shown in Figure 6.

Figure 6: Area A5 Location



3.6 Area A6 - Athlunkard Boat Club (Ch 2500 to 2655)

The existing western boundary of the boat club is made up of concrete walls, stone walls, security railings and a security gate. Immediately to the west of the boundary wall, is a circa one metre wide strip of grass, briars, elder and ivy. West of this is an existing walkway which is also used for vehicles by the boat club users. Foul drainage from the boat club currently discharges directly into the Abbey River.

A new access road/path is proposed to access the boat club at its north-western corner. The proposed embankment will be graded down from an elevation of 5.30mOD to existing ground level of 4.20mOD on the northern side of the boat club. The dimensions of the embankment will be similar to the north west embankment and it will be composed of low permeability clay, subsoil and seeded with meadow grassland.

The existing wall along the western side of the boat club will be replaced with a flood defence wall, 2.75m in height to provide a secure boundary. The proposed flood defence wall will be supported on bored concrete piles.

North of the Club House, the defence wall will be stone faced on the public footpath side, with a plaster finish on the river side.

South of the Club House, the defence wall will be stone faced on both sides. The wall elevation will be simplified in design to remove a number of steps in its plan alignment. Informal shrub and climber planting will be located along the dry side of the new wall

The footpath will be graded down to the existing public footpath on the western side of the boat club wall and will be widened to 3m for continuity with the new footpath around the island. Vehicular access will be extended as far as the existing boat club entrance to maintain the existing access route from the back of Athlunkard Street.

There are two outfalls to the Abbey River in this area. One drains Abbey View estate and some local roads via a 600mm diameter pipe. Its outfall is already fitted with a non-return valve. Inter-tidal storage will be provided via an underground concrete tank to temporarily store storm water during extreme river levels in the Abbey River, at high tide. This will be constructed on the dry side of the embankment in this area south of the existing access road to Athlunkard Boat Club.

The adjacent outfall is understood to be an overflow from a soakaway to the underside of the green open space fronting Lee Estate. This outfall will be fitted with a non-return valve to prevent inundation from the tide.

Existing toilets and showers from Athlunkard Boat Club currently discharge to the Abbey River. A new sewer system for the boat club will be constructed. Sewage from the boat club will be redirected and connected to the main Limerick sewerage system, which is directed to the waste water treatment plant in Bunlicky, to the west of the city. A manhole will be installed at a depth of approximately 4m to complete these works. The existing foul sewer will be abandoned.

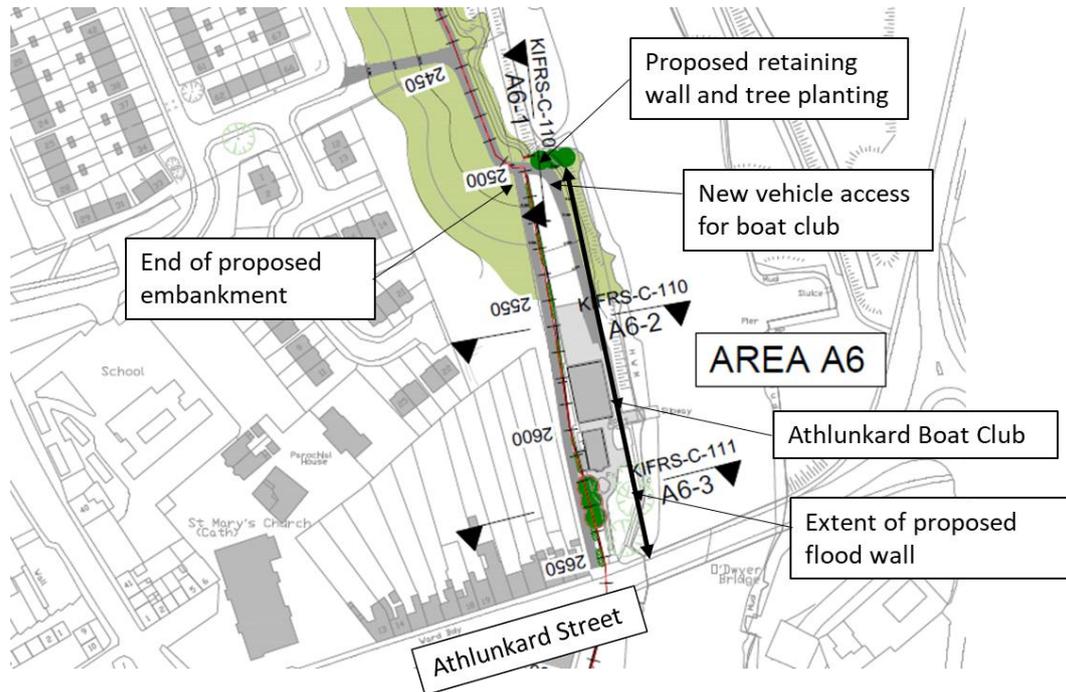
To accommodate the softened side slopes on the inside of the proposed flood embankment, a number of existing foul manholes will be raised by c.1.5m.

Three small trees including a White beam, a Cherry and Norway Maple are to be removed south of the boat club to facilitate construction of the new wall. Replacement trees will be planted as part of the landscape design for the project.

LED light fittings of a warm spectrum preferred for bats, mounted on 6m poles will be provided along the pedestrian pathway of this stretch. The lights will be positioned at approximately 30m centres on opposite side of the pathway to Athlunkard Boat Club.

The location and extents of these works is shown in Figure 7

Figure 7: Area A6 Location



3.7 Area A7 - Sir Harry's Mall (Ch 2670 to 2880)

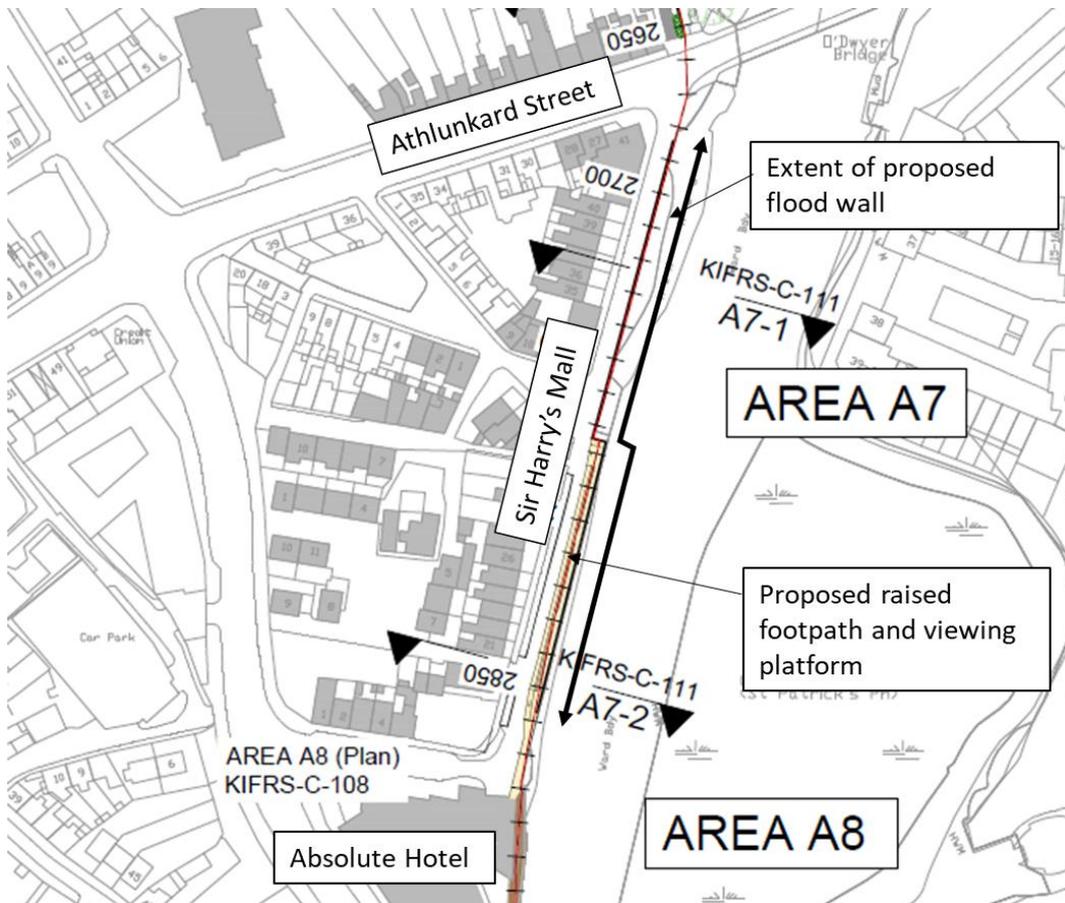
An existing flood defence wall runs along the length of Sir Harry's Mall (approx. 216m). It was constructed about 15 years ago but does not reach the currently required flood defence level. A footpath runs alongside the wall over the southern portion of Harry's Mall, with a public road immediately adjoining the wall for the northern portion.

The existing wall will be raised to the required flood defence level and strengthened. This requires excavation to construct extensions to the wall foundations. The wall extension will be clad to match the existing stone cladding. The extended wall will give rise to a relative wall height in excess of the maximum desirable height of 1.2m along the northern portion of the Mall. At the southern end, a new raised viewing platform will be constructed to maintain river views, with accessibility ramps at either end and steps down to the footpath and road level to improve pedestrian permeability in the area. At some breakout areas, a railing will be provided to protect pedestrians from fall. In order to maintain delivery access to the Absolute Hotel, the footpath opposite the ramp will be realigned and reduced to the recommended minimum width of 1.8m. The road will be narrowed in some locations and some parking spaces will be lost. However, one lane of traffic and one lane of parking spaces will be available to maintain the current one-way street. Some pavement realignment will be required opposite the existing ramp with the loss of 2 nr. car parking spaces.

Storm water drainage along Sir Harry's Mall is currently drained to the Limerick Main Drainage sewer via existing road gullies. Some road gullies will be relocated as part of the scheme to accommodate the raised and stepped access on the inside of the existing flood wall.

The location and extents of these works is shown in Figure 8

Figure 8: Area A7 Location



There will be no changes to the existing light fittings.

3.8 Area A8 - Absolute Hotel Boardwalk (Ch 2880 to 2910)

The existing boardwalk is at a level marginally below 5.1m AOD.

Accordingly, the access landings at either end of the boardwalk will be raised slightly by approximately 100mm to meet the flood defence level of 5.1mOD. This will prevent flood water from passing from the boardwalk onto the footpath while maintaining pedestrian access in the area. The location and extents of these works is shown in Figure 9, which is included in Section 3.10

The existing light fittings will be removed during the duration of the works and reinstated after completion of works.

Drainage will remain as-is with existing gullies connected to the Limerick Main Drainage sewer.

3.9 Area A9 - Absolute Hotel Boardwalk to Abbey Bridge (Ch 2910 to 2960)

This 40m stretch currently consists of a more modern stone parapet wall and railing, on top of a historic quay wall, with a walkway running between the wall and the Absolute Hotel.

The more modern portion of the parapet wall and railing is to be replaced with a stone clad reinforced concrete wall, to a maximum height of 1.4m, but more typically 1.2m. The historic quay wall is to be retained, cleaned, pointed and grouted. The new RC wall will be supported on minipiles cored towards the rear of the existing quay wall. It will be clad with rough-hewn stone in a snecked pattern, laid to courses with a double chamfered rectangular stone coping.

Due to restricted land access at this location and limited space on the walkway, an in-channel barge/jack-up rig will be required in the Abbey channel, to provide additional space for piling machinery to operate.

The existing drainage system will remain as it is, with existing gullies connected to the Limerick Main Drainage sewer.

The existing light fittings will be removed during the duration of the works and reinstated after completion of works.

The location and extents of these works is shown in Figure 9, which is included in Section 3.10

3.10 Area A10 - Abbey Bridge to Baal's Bridge (Ch 2965 to 3020)

An historic masonry quay wall runs along this 60m stretch of the Abbey River. There are three distinct sections of the wall which comprise different finishes and are of varying ages. The western portion of the wall is already sufficiently high to achieve the flood defence requirement, whereas the eastern half does not.

The entire length of the existing will be replaced with a new stone clad concrete parapet wall to a maximum height of 1.4m, but more typically 1.2m. The existing quay wall will be cleaned, repaired, grouted and repointed. It will be strengthened by the addition of a mass concrete backing wall. The eastern section of the wall will be faced with rough-hewn stone in a snecked pattern, laid to courses with a double chamfered rectangular stone. The western section of the wall will be faced with stone and coping to match existing. A new pier is proposed to define the change in visual appearance between the two sections of the wall.

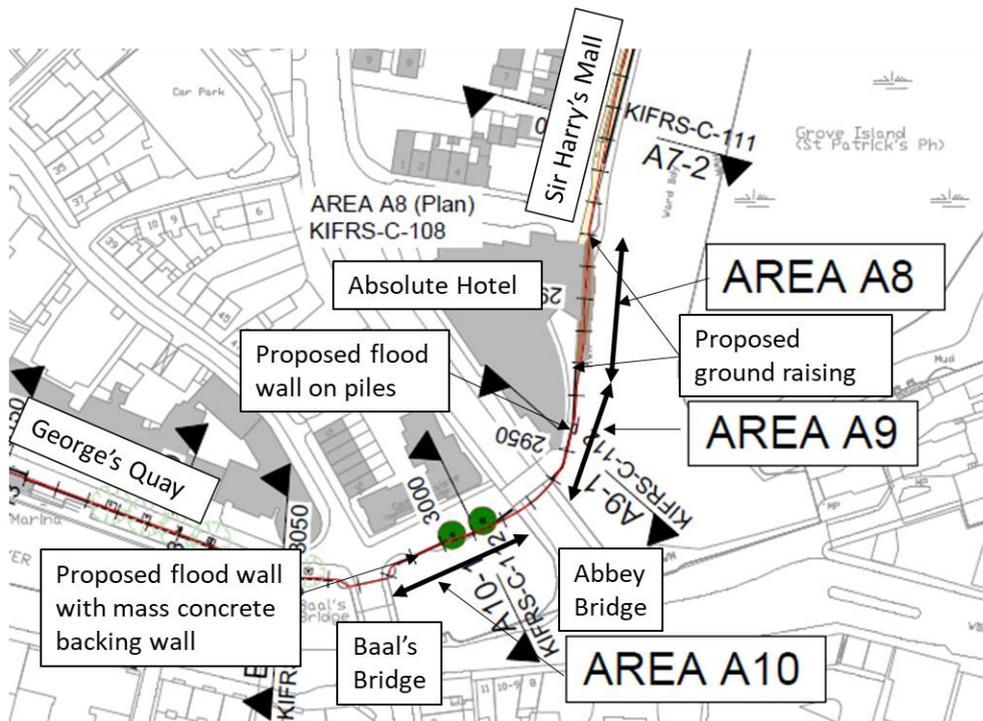
The existing footpath will be excavated in order to construct the new parapet and backing wall. Excavations of approximately 4 to 5m depth will be required. Two existing small trees on the walkway, surveyed by an arborist, are to be removed for construction and they will be replaced with like for like species on completion of the construction works. The footpath and roadway will also be reinstated to match existing.

The existing drainage system will remain as it is with existing gullies connected to the Limerick Main Drainage sewer. The existing 150mm diameter outfall will be replaced with a 225mm diameter outfall and associated non-return valve.

There will be no changes to the existing light fittings.

The location and extents of these works is shown in Figure 9

Figure 9: Area A8, A9 and A10 Location



3.11 Areas B1&B2 - George's Quay (Ch 3035 to 3265)

The majority of the wall in this stretch (approximately 240m) comprises of a modern RC parapet wall (mimicking cut limestone coursing), sitting atop of a more historic limestone quay wall. The parapet is broken at the location of the access point to the pontoon opposite Barrington's Hospital. It is also broken in 3 locations with railed viewing areas, concentrated at the western end. A 24m length of the existing wall is above the required flood defence height at the easternmost section but does not always provide the required guarding height of 1.1m. Railings have previously been retrofitted on the inside of these sections to provide safe guarding. The remainder of the parapet wall is below the required flood defence level.

Twelve trees of medium and high amenity value are located along this stretch. Species include Common Lime, Norway Maple and Oriental Plane. Due to the high amenity value of the trees, the design philosophy has been to protect, manage (crown raised and removal of basal sucker) and retain during the construction of the new concrete wall, hence necessitating the choice of the proposed ground anchors as a structural solution. Three new trees are also to be planted.

To meet the flood defence requirement, the existing concrete parapet wall is to be replaced by a new stone clad gravity concrete wall over most of its length and will also achieve the pedestrian guarding height of 1.1m. The wall is to be built atop of the historic quay wall which will be strengthened by pointing and grouting, coupled with the installation of ground anchors. The ground anchors will be approx. 10m in length, to be cored through the rear of the existing quay wall wall to bedrock. The use of ground anchors avoid the need for a new concrete backing wall, which allows the existing trees to be retained.

The stone clad concrete gravity parapet wall will be interspersed with stretches of glass flood defence panels. Glass panels will be located in the following locations:

- Around the eastern former access steps to the river;
- Around the western former access steps to the river; and
- The three western viewing areas including the spaces between them.

Where glass flood defence panels are proposed, the existing quay wall will be cleaned, repaired, grouted and repointed, and will be further strengthened by the addition of a mass concrete backing wall.

The existing steel and timber pontoon has open access to George's Quay, and does not provide the required flood defence height. The pontoon will remain in place. A new wall will run along the land side of the pontoon incorporating new access steps over the wall. Flood gates were considered for this section to provide ramped access to the pontoon, but following discussions with Waterways Ireland and LCCC in relation to the use of this pontoon, it was agreed that full disabled access was not required and that stepped access would be sufficient, thus allowing for a more robust passive solution, which avoids the need for demountable barriers.

The existing steps down to the river will also be cleaned and repaired.

New light fittings will be installed at the seating area opposite to the Locke Bar. The existing lights in this location will be removed. All other light fittings along George's Quay will be retained.

In area B1, the existing 150mm diameter surface water sewer will be upgraded to 225mm diameter. The existing outfalls will be abandoned, with the proposed sewer instead discharging to the Abbey River via a new outfall to the west. A non-return valve will be provided on the outlet.

In area B2, the existing 150mm diameter sewers will be replaced with larger pipes. Gullies at the proposed ramp location on Bridge Street will convey flows from Bridge Street towards the proposed network at Georges Quay and discharge to the Abbey River via the existing outfall. Gullies and rainwater downpipes from the buildings along Creagh Street will be disconnected from the existing LMD combined sewer and diverted to a new SW sewer along the street. An overflow to the LMD sewer will be provided within the final manhole at a level of 3.75m, which is located at the lowest point along the street. This will allow the sewer network to surcharge prior to overflowing in the event of an extreme pluvial event coinciding with a tide level of 3.75m or higher in the Abbey River.

The Curragower Boat Club entrance and the Court House boardwalk/wall are also below the design flood defence level.

A railing runs along the quay edge, atop of the historic quay wall, alternating with sections of historic stone parapet, terminating in the corner adjacent to the outer wall of King John's Castle.

The cantilevered viewing opening in the Potato Market will be replaced with a glazed flood defence panel, supported by the existing quay wall strengthened locally by the construction of a mass concrete backing wall.

Since it is not feasible to strengthen the Sylvester O'Halloran bridge to withstand a flood load, a stone clad ramped access structure will provide the flood defence to the existing access opening to the pedestrian bridge. The proposed flood defence ramp will be offset from the existing buildings allowing access to the existing doorway and windows.

The construction of the ramp will result in the nett loss of 6 nr. car parking spaces in the Potato Market car park. It is proposed to modify the layout of this car park to maximise the number of car parking spaces available

The walls adjacent to the river along the Potato Market car park exceed the flood defence height and will be repaired where necessary, by pointing and grouting, to achieve the required flood levels.

Between Curragower Boat Club and the Potato Market, where the existing wall is in poor condition and has insufficient strength to withstand the required flood load, a new approximately 2.5m high independent flood defence wall will be constructed on the Potato Market side of the existing Curragower Boat Club boundary wall. Once it meets the Potato Market railing it will reduce in height to the 5.3mOD. The wall will be faced with rough-hewn stone in a snecked pattern laid to courses with a stone coping. The wall will extend through the Potato Market railings after approx. 4m length to form a pier on the other side.

An automatic flood gate will be constructed at the entrance to Curragower Boat Club between the quay wall and the Potato Market boundary wall. Its deployment will be triggered by an ultrasonic level gauge monitoring river levels, sited at the adjoining quay side. This will be a hinged automatic flood gate with a manual override option. For further redundancy, a secondary manual barrier will also be installed parallel to the automatic barrier, but on its dry side. An RC flood wall clad with masonry is proposed to extend northwards from the flood barrier to the next change in direction of the quay wall. It will be founded on the existing quay wall which will be pointed and grouted, and further strengthened through the construction of a mass concrete backing wall. A raised table top will be located in the area framed by this wall, the automatic barrier and the Potato Market railings, with ground levels of 4.15m AOD providing passive protection for events up to the 1 in 10 year event.

Glass flood defence panels will extend westwards at the viewing platform atop of an RC stub wall clad in masonry. This will be founded on the historic quay wall which will be pointed and grouted and further strengthened by the construction of a mass concrete backing wall.

The ground level at this location will be raised by approximately 300mm to reduce the relative difference between dry side ground level and flood defence height to 1.2m thus ensuring clear views of the river are not restricted along the public walkway.

2 No. outfalls from the Potato Market carpark are to be made redundant as part of the scheme works. A new storm outfall will be provided to accommodate storm drainage from the Potato Market carpark and the access road in/out of Merchants Quay. A by-pass petrol interceptor will be constructed to enhance the water quality prior to discharge. An inter-tidal storage tank will be constructed to prevent flooding on the surface during extreme tide conditions in the Shannon. This inter-tidal storage tank will be located between the court house and the potato market, replacing the existing tank within the potato market car park.

Along the cantilevered boardwalk by the Court House, glass flood defence panelling is also proposed. This will sit atop of a new shorter RC cantilever element which will replace the existing cantilevered walkway. Even though the overall width is reduced, the existing railing will be set back to provide a 2.4m wide public walkway whilst still retaining a separate secure pathway around the courthouse for maintenance purposes. This glass flood defence panelling will extend to the northern boundary of the Court House. The new RC cantilever will sit atop of the historic quay wall which will be pointed and grouted. New mini-piles at circa 4m centres will be required to support the new RC cantilever slab. These mini-piles will be installed alternating with the existing ground anchors which are also at circa 4m centres.

New light fittings will be installed along the new cantilever walkway. The lights will be a combination of in-ground luminaires and ground mounted flood lights to light up the façade of the Court House.

The existing outfall to the south-west of the civic building will be increased in size with an appropriate non-return valve installed. An overflow within the final manhole will convey flows to the proposed inter-tidal storage tank to the north while the outfall is surcharged.

Beyond the Court House, further glazed flood defence panelling is proposed as far as the location of the existing fountain to the west of the Civil Offices. These panels will sit atop of the historic quay wall which will be pointed and grouted and further strengthened, by the construction of a mass concrete backing wall.

The existing outfall to the rear of the City Hall will be increased in size with a non-return valve installed. Inter-tidal storage for existing paved areas behind the new glass panel and the wider contributing area will be provided adjacent to the outfall such that flooding on the surface does not occur during high tide conditions in the Shannon. Some poor quality trees are to be removed to facilitate construction of the storage tank.

To the northwest of the Civil offices, an historic Bridge links the old city wall (which is a National monument) to an historic Mill structure, the remains of which can just be seen protruding from the historic quay wall. An historic tunnel structure is also located in this area.

A comprehensive desk study assessment has been undertaken to define in so far as is possible the location of all of these below ground features. However, recognising that the actual position of features may deviate slightly, a flexible flood defence and associated foundation design has been adopted which can respond to any slight deviation in alignment without compromising the structural stability of the solution or altering the above ground aesthetics. The risk will be further mitigated by undertaking additional archaeological test trenching under ministerial consent, which is due to take place in Q1, 2020. With the exception of some very short sections of glazed flood defence panels, the flood defences in this area will consist of stone clad RC parapets, founded on a grillage of bored concrete piles. The layout of the piles has been developed to avoid any damage to the archaeological features. This approach will ensure that the features are preserved in situ and recorded. Glass panels will create a viewing platform adjacent to this site, with a section of wall to emphasise the existing steps. It is also proposed to incorporate some interpretation boards at this location to tell the story of these historic features.

At this location, six early maturity Lime trees will be removed for construction. These will not be replaced due to their potential interference with the historic features.

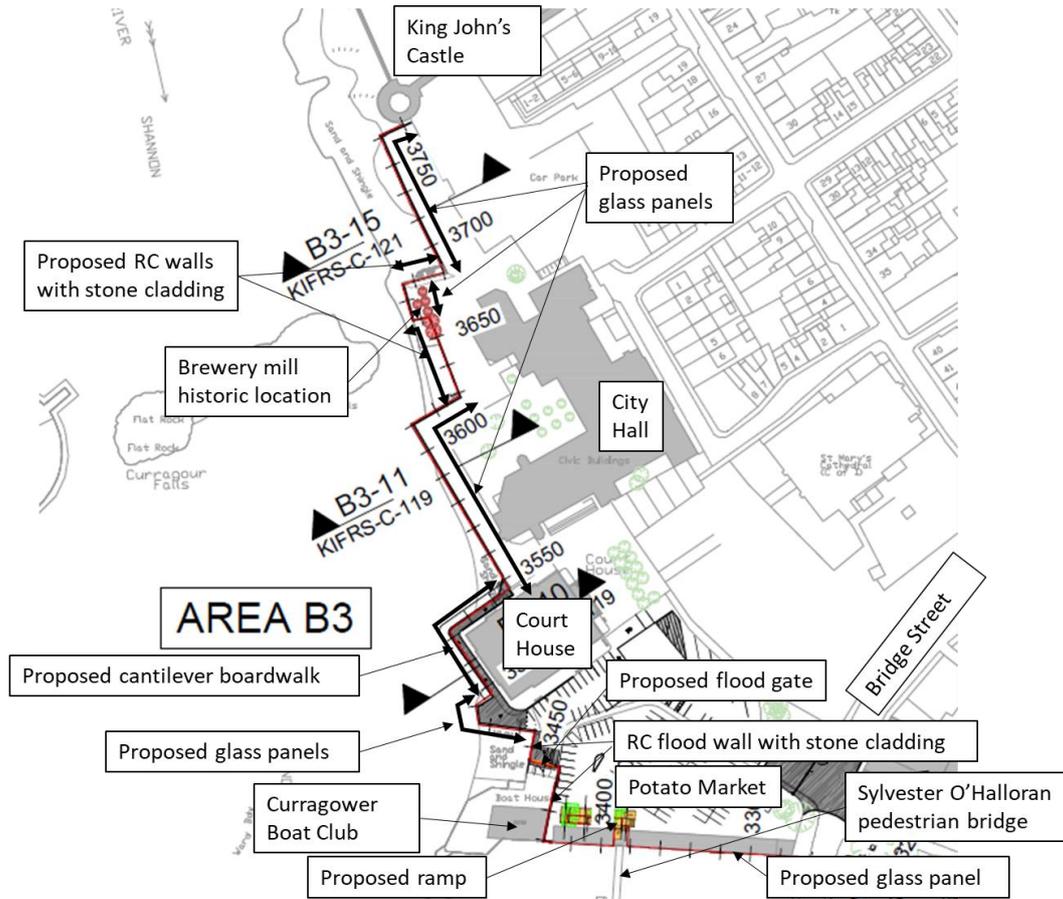
The final section of flood defences in this area, located to the north of any archaeological features will consist of further glazed flood defence panelling. These panels will sit atop of the historic quay wall which will be pointed and grouted and further strengthened, by the construction of a mass concrete backing wall. This solution will tie into high ground just south of St. John's Castle but without any direct connection to the Castle structure itself, thus avoiding any direct impact on the National Monument.

The existing outfall to the south-west corner of King Johns Castle will be increased in size with a non-return valve installed. As this outfall drains existing car-parking predominantly to the west of City Hall, a by-pass petrol interceptor will be constructed to enhance the water quality prior to discharge.

The existing light fittings between the Court House and King John's Castle will be removed, stored during the construction works and reinstated after completion of the works.

The location and extents of these works is shown in Figure 11.

Figure 11: Area B3 Location



3.13 Works in the foreshore

The proposed Scheme is predominantly located inward of the foreshore line. However, a number of elements lie within the foreshore. These include some flood defences, new surface water outfalls and access arrangements for river users (including fishermen).

Accordingly, Limerick City and County Council considers that it is required to apply to the Board for approval of the proposed development under Section 226(1) of the Planning and Development Act 2000 (as amended).

4 AA Screening/Natura Impact Statement

An Appropriate Assessment Screening Report (AA Screening) and Natura Impact Assessment (NIS) have been prepared by the project team in respect of the proposal.

The presence of surface water, groundwater and land and air pathways give rise to potential impacts on the Lower River Shannon SAC and the River Shannon and River Fergus Estuaries SPA during construction of the proposed development, informing the conclusion that the proposed development could not be “Screened out” and the proposed development should be subject to the requirement for AA.

The NIS concludes that following implementation of mitigation measures which have been developed following AA of the implications of the proposed development for European sites, and in view of relevant Conservation Objectives, the proposed development will have no adverse effects on the integrity of any European sites, either alone or in-combination with other plans or projects.

5 Environmental Impact Assessment Report outline (EIAR)

5.1 Scope of EIAR

In the case of the proposed Flood Management Scheme for Kings Island, Limerick, the length of river channel on which works are proposed is 3.7km. As this exceeds the relevant thresholds, a mandatory EIAR of the proposed scheme is required to be prepared and submitted to support the application.

The EIAR for the application has been undertaken in two stages. Firstly, a scoping assessment was undertaken in order to identify the key elements that could have the potential to result in impacts on the site and its environs. This scoping exercise also assisted in determining the nature and level of detail of information to be contained in the EIAR, in essence the scoping formed the terms of reference for the EIAR. The Scoping Report was circulated to statutory consultees and key stakeholders, and the responses are summarised in chapter 6.

The second stage of the EIAR is the assessment of the effects of those subjects deemed necessary in the Scoping Report because of a potential significant change in the level of impact.

5.2 Structure of EIAR

The accompanying EIAR has been completed in accordance with the requirements as set out in the European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 S.I. No. 296/2018

- Draft Guidelines on the Information to be contained in Environmental Impact Statements (EPA, 2017)
- Advice Notes for Preparing Environmental Impact Statements Draft (EPA, 2015)
- Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment (August 2018)
- The EIAR for the proposed scheme around Kings Island is comprised of the following volumes:
 - Volume 1: The Non-Technical Summary;
 - Volume 2: The EIAR
 - Volume 3 : Figures
 - Volume 4 : Photomontages

The assessment follows the 'grouped format' as set out in the EPA's guidance document (2002):

- The baseline conditions for the environmental aspects are described.

- The effect of the proposed development on the environment is assessed and described.
- Mitigation measures to remedy/reduce the significant impacts are given.

The structure of this EIAR is set out as follows:

1. Introduction
2. Legislation and Planning Policy
3. Constraints, Alternatives Considered, Options and Scoping
4. Description of Proposed FRS
5. Consultation
6. Population and Human Health
7. Material Assets incl. Traffic, Utilities and Waste Management
8. Biodiversity
9. Surface and Groundwater
10. Soils and Geology
11. Noise and Vibration
12. Air Quality, Dust and Climate Change
13. Landscape and Visual
14. Cultural Heritage
15. Interaction between environmental aspects
16. Cumulative Impacts and Major Accidents and/or Disasters
17. Summary and Conclusions

5.3 EIAR team

Article 5(3)(a) of amended EIA Directive (2014/52/EU) (EIA Directive) states that:

“The developer shall ensure that the environmental impact assessment report is prepared by competent experts”.

The Draft Guidelines on the Information to be contained in Environmental Impact Assessment Reports issued by the EPA in August 2017 highlights the need for competent experts to be involved in the EIA process and in the preparation of the EIAR.

The EIAR has been prepared by a multi-disciplinary team of environmental specialists as set out in Table 1. Overall coordination of the EIAR was overseen by Bernadette O'Connell BA(Hons), MSc. CMLI; technically reviewed by Mark Cope BSc MSc FGS MIEMA CEnv REIA and Clodagh O'Donovan CEng, FIEI, FConsEI, MCIWEM, C.WEM. Ken Leahy undertook a Quality Review.

Table 1: EIAR Team and Qualifications

Consultants	Experienced/Competent Expert and qualifications	EIAR Chapter
JBA Consulting 24 Grove Island, Limerick V94 312N Ireland	Emily Rick BSc (Env) Bernadette O'Connell BA (Hons) MSc CMLI	NTS 1. Introduction 3. Constraints, Alternatives Considered, Options, Scoping Stages 4. Description of Proposed FRS 7. Material Assets: Utilities and Waste Management 13. Climate Change 15. Interaction between environmental aspects 16. Cumulative Impacts 17. Summary and Conclusion
	David Casey BSc MSc MCIWEM Emily Rick BSc (Env)	9. Surface and Groundwater 10. Soils and Geology
	Tanya Slattery BSc MSc (Res) Patricia Byrne BSc (Hons) PhD MCIEEM Hannah Mulcahy, B.Sc., M.Sc. Niamh Burke BSc (Hons) PhD CEnv MCIEEM	8. Biodiversity
	Elena Sorbo Cert M.Arch Bernadette O'Connell BA (Hons) MSc CMLI	13. Landscape and Visual
Coakley O'Neill Town Planning Ltd NSC Campus	Deirdre Kiernan BA (Hons) MRUP Aiden O'Neill BSc (Hons) DipTCP, MIPI	2 Legislation and Planning Policy
Arup Hartstonge House, Uper Hartstonge St, Limerick, V94 F8XE, Ireland	Niamh O'Regan BEng, CEng Dan Garvey BA(Hons) MSc CEnv MIEnvSc CGeog FRGS	7. Material Assets:Traffic 11. Noise and Vibration
Moore Archaeological and Environmental Services Ltd. Corporate House Ballybrit Business Park, Galway	Declan Moore BA I.A.I	14. Cultural Heritage
AONA Environmental Consulting Ltd. (Trading as Envest), Unit 8A, Northwest Business Park, Sligo	Mervyn Keegan BSc MSc Pg Dip	14. Air Quality

6 Consultation

6.1 Background

A comprehensive communications and engagement plan was developed by the project team and implemented for the King's Island Flood Relief Project. This chapter provides details of communications with both non-statutory and statutory stakeholders, as set out in Section 4.1 and Section 4.2 respectively.

In accordance with the EIA Directive (85/337/EEC) as amended in 2011 Directive (2011/92/EU) and 2014 Directive (2014/52/EU) under Article 6 and the Aarhus Convention, statutory and non-statutory bodies, local authorities, and relevant stakeholders must be consulted on the specific characteristics of the project and its likely impacts on the environment.

6.2 Communications with Non-Statutory Stakeholders

Some of the key elements of the King's Island Flood Relief Scheme communication plan comprised public information events and the establishment of a project website, together with Facebook and Twitter feeds.

Three public communication events have taken place since the project commenced, as follows:

- Four Project Information Day - held on 7 October 2015;
- Verdant Place Advanced Works Public Exhibition for Part 8 Planning - held on 1 March 2016;
- Emerging Preferred Option Public Information Day - held on 20 December 2017;
- Final Public Information Event held on the 29 August 2019, prior to lodging of the application.

6.2.1 First Public Information Day – 7 October 2015

The first public information day was held on 7th October 2015 in Limerick City Hall, Merchant's Quay. It was promoted through various means such as publicity through the Stakeholder Advisory Group, meetings with local groups, social media, traditional media, leaflet drops, posters, and word of mouth. Although widely advertised, the attendance was lower than expected with 40 people signing the attendance register. However, the feedback received was useful and clearly identified the relevant concerns of local residents with regards to the Flood Relief Scheme. There was genuine interest in the works and particularly in the timeline for construction.

The feedback from most attendees was that a solution was needed and while a particular option may not be the most appealing, for example in terms of visual impact, it is more important that flood protection was provided and completed in a timely manner. Specific issues raised at the first Public Information Day were as follows:

- Proposed flood wall - the majority were in favour of this concept, but the height of the flood defence and general visual impact were of concern and it was felt that the proposed wall should, if possible, include 'cut through walkways' to give the option of cutting a walk short.
- Access to river edge - consideration of access points to river edge for fishing, recreational activities and visibility of the water course and landscape beyond.
- St. Mary's Park embankments - the proposed walkway should include cameras and lighting to assist personal safety. Consideration should also be given to the incorporation of social aspects in the embankment design, especially for children and seniors e.g. seats, flowers/planting and a garden.
- Public right of way - retention of public right of way along the west side of Merchant's Quay.
- Cultural heritage - The archaeologically sensitive area along St Marys Wall, Georges Quay, Merchants Quay and Verdant Place should be taken into consideration.
- Visual appearance of flood walls - where possible, existing masonry quay walls should be incorporated into proposed flood defences using limestone where possible to minimise the visual impact. Flood defences should be incorporated into the recreational promenade encircling King's Island.
- Communication - regular community engagement was requested including updates on any new developments regarding the scheme. Residents of nearby Corbally also requested to be included in the project communication due to concerns about insurance cover for their residential properties.
- Climate Change Impact and Nature Conservation concerns were expressed.

6.2.2 Verdant Place Advanced Works Public Consultation – 1 March 2016

A second Public Information event took place on 1st March 2016. This was for the Verdant Place Advanced Works which were progressed through the Part 8 planning process ahead of the main scheme. This event was held in the King's Island Community Centre which is adjacent to Verdant Place. The consultation was promoted through social media, traditional media, leaflets drops, posters, pavement stands and word of mouth. 36 people attended the event. All those who attended and provided addresses were residents of King's Island. All comments received on the scheme were positive, with several attendees expressing their approval of the one-way system, while others expressed their support at the action being taken against flooding. Less common comments came from one attendee who said they hoped the wall would not spoil the view to the river and another attendee requested that the works be completed before Christmas 2016.

Whilst this consultation day was related to the separate Verdant Place project which does not form part of this application, it has been referenced as many attendees raised queries in relation to the overall scheme and so it provided a useful point in time for discussion of the wider island consideration. Feedback on the Verdant Place works has also informed design changes to the wider scheme.

6.2.3 Emerging Preferred Option Public Information Day - 20 December 2017

A third Public Information Day (PID) took place on Wednesday 20th December 2017 to present the emerging preferred option for the scheme and to seek the views and opinions of attendees before the next stage of the project, which was preparation of the planning application. Given the feedback from the previous events, this PID was staged as a two-venue event, with displays in the City Hall during the day and continuing in the Community Centre in the evening. Information about the scheme including a detailed photomontage and a short film showing a 3D fly-over were made available for review and comment and members of the Team were present to discuss the proposals and receive feedback. 89 people attended between the two venues, including residents of King's Island, Corbally and the city centre. The key issues raised were specific to each flood cell sub area are listed in Table 2, along with a description of subsequent actions taken.

Table 2: Key issues raised during PID 20 December 2017

Area	Key issues raised	Action taken
Area A1 Verdant Place (completed element of the scheme)	Consideration to be given to raising height of footpath to give a view of Shannon, and provision of an access ladder at Pump Kiosk. Comments were made regarding the finish of the wall.	A new paint finish is proposed for the cap of the existing wall. Consideration will be given to an access ladder at Pump Kiosk.
Area A3 North West Embankment	Concern by residents of the pinch point at chainage c.550 where the embankment is getting very close to existing houses on Oliver Plunket Street and the impact this may have in exacerbating anti-social behaviour, and loss of open space.	The slope of the proposed embankment has been reduced substantially and it is proposed to make it more contoured along its length, in order to integrate it more effectively into the existing landscape and to lessen its visual impact. This will also maximize the availability of open space. It is also proposed to provide a number of footpaths from the proposed new embankment, linking to St. Mary's Park, which will provide enhanced pedestrian access between St. Mary's Park and the proposed new walkway on the embankment.
Area A4 St Mary's Park / SAC	the route of the proposed embankment (referred to as 'inner alignment') was generally accepted, provided the outer walkway was also maintained.	The outer walkway is being retained and the alignment of the proposed inner embankment has been rationalised as much as possible within the available space.

Area	Key issues raised	Action taken
	A minority of residents (those living to the east of Munchin's Street) wanted the reconsideration of the outer alignment which follows the riverbank on north eastern part of Kings Island and is within the SAC.	In addition, it is proposed to plant trees at strategic locations to improve privacy for houses.
Area A5 Star Rovers	Objection to plans for loss of training pitches at Star Rovers. Some residents raised concerns about moving the car park and reopening the closed lane way near to the car park, while others welcomed this move as it is currently used for dumping.	The proposed layout now provides for the relocation of the astro-turf pitch and the Star Rovers football pitch and the provision of an alternative training pitch, within the available lands.
Area A6 - Athlunkard Boat Club	Ensure that the public right of way to the back of houses on Athlunkard Street is maintained.	This public right of way is being maintained.
Area A7 Sir Harry's Mall	Request for continuation of walkway from the Absolute Hotel to Athlunkard Bridge, potentially on the outside of the existing wall.	It is not proposed to provide a cantilevered boardwalk between Athlunkard Bridge and the Absolute Hotel, as this is a recently constructed flood defence wall and the cost of providing a new boardwalk is not available within the budget of the flood relief scheme.
Areas A8-A10	No comments.	
Area B1 Georges Quay East	Concern at loss of mature trees required for construction of new wall in this location.	An alternative technical solution has been developed, resulting in the retention of the mature trees.
Area B2 Georges Quay West	Concern that proposed stone finish on wet side matches existing.	An appropriate stone finish to match existing has been selected, in agreement with LCCC Conservation Officer
Area B4 King John's Castle	Consideration of a continuous walkway on the west side of the castle.	Continuous walkway on the west side of the castle is not included in this scheme, as it is not required for flood defence purposes.

A detailed description of the Emerging Preferred Option Public Information Day and feedback received from attendees is presented in Appendix G of this Report.

6.2.4 EIAR scoping report

Non-statutory consultees were sent the Scoping Report and were asked to submit a consultation response. Please see EIAR for relevant list

A summary of responses received is provided below.

Table 3: Summary of Non-Statutory Consultation Responses to Scoping Report

Consultee	Response	Response Date
Geological Survey Ireland	Email ref. 18/171 with suggestions regarding the use of GSI databases, and groundwater vulnerability	14/01/2019
Institute of Geologists of Ireland	Email - no objection	07/01/2019
LCCC (Archaeology)	Email with a suggestion for consideration regarding archaeology	01/02/2019
LCCC (Planning and Environmental Services)	Email with suggestions for consideration regarding the NIS report, climate change, and surface and groundwater sections of the EIAR	04/01/2019
National Federation of Group Water Schemes	Email - no objection	07/01/2019

6.2.5 Final Public Information Event prior to lodging of Planning Application – 29 August 2019

A final Public Information event was held on 29 August 2019 to present the scheme design to the public in advance of lodging the application to An Bord Pleanála. This event was held in the City Hall and was attended by approximately 80 people. The format of the event was the presentation of the scheme using maps, plans and drawings. Staff from LCCC and the project design team were present to explain the scheme to attendees.

The information was well received and a summary of comments of general comments raised by attendees were as follows:

Table 4: Public Information Day comment

Comment	Response
Comment made regarding the availability of mooring buoys and life rings	Life buoys to be included along the where necessitated by the flood works construction e.g. at the fisherman access ramp. Additional mooring rings are not part of this flood relief scheme
Proposed opening of Thomond weir for pedestrian traffic should be taken into consideration in the design	This was considered in the development of the embankment. The current embankment design is adaptable for incorporation in this scheme if it proceeds.
Concern raised regarding the proximity of the embankment to existing houses on Oliver Plunket Street and the impact this may have in exacerbating anti-social behaviour, and loss of open space.	Refer to actions taken during Public Consultation Day. No further action taken

Comment	Response
The presence of an old concrete sewage outlet on the northern tip of King's Island was highlighted and a request for removal made.	Removal of this sewer is not part of the proposed flood relief scheme
Request that the proposed fishermen boat access should be replicated at several points on Kings Island	Fisherman access is provided in 1 nr. location. It is not proposed to include additional access in this phase of the project. The scheme design does not preclude the creation of additional fisherman access points in the future.
Concern raised regarding the alignment of the embankment along St Munchin's Street, in relation to potential anti-social behaviour and the subsequent security risk. There were differing opinions on whether trees for screening and the back of St. Munchin's Street was preferable or not	The proposed tree screening for each property will be agreed with residents.
Residents of St Mary's Park expressed a concern that the new walkway would allow unimpeded access to horses and quad bikes, impeding the safety of the walkway for pedestrians.	mitigation measures will be considered during the detailed design phase
A concern was raised regarding the feasibility of the vehicle access proposed for Athlunkard Boat Club	This access has been designed to accommodate the type of vehicle and trailer used by the boat club
A concern was raised regarding the impact of the proposed works on the heritage quay walls, requesting reuse of the existing walls where possible	The wall cladding, and parapet removal has been agreed with the LCCC heritage officer. It is proposed to use some of the resultant stone as cladding in other areas.
Disabled access to the pontoon on George's Quay was highlighted as a necessity	LCCC and Waterways Ireland confirmed that, considering the infrequent use of this pontoon, the provision of full disabled access was not a requirement
It was suggested that the ramp at the Potato market could be made into a much lighter steel or wood structure, or replaced by a flood gate	A flood gate in this location could be inaccessible during a flood event if the gates to the Potato Market are locked. A steel or wooden ramp would not provide the required flood defence
The clash of the proposed foundations with the Brewery mill foundations was highlighted, as was the requirement for archaeological supervision for the works in this area, including tree removal.	The design has been amended to avoid clashing with the historic features mentioned. All works in this area will be carried out with archaeological supervision.

A number of concerns were raised by representatives of various stakeholders directly affected by the works. Follow up meetings were held between these stakeholders and members of the project team to reach an agreement with the various parties.

6.3 Communications with Statutory Stakeholders

The EIAR requirements for consultation are defined in the EIA Directive (85/337/EEC) as amended in 2011 Directive 2011/92/EU and 2014 Directive 2014/52/EU under Article 6.

Article 6 (1)

“Member States shall take the measures necessary to ensure that the authorities likely to be concerned by the project by reason of their specific environmental responsibilities are given an opportunity to express their opinion on the information supplied by the developer and on the request for development consent.”

Statutory Authorities referred to in Article 6 (1) were consulted on the specific characteristics of the project, including its location, technical capacity, and its likely impacts on the environment.

Statutory Consultees were issued a letter and a copy of the EIAR Scoping Report by email on 21 December 2018 requesting that any comments, observations or submissions in relation to the scope and level of information to be included in the EIAR be made prior to submission. Consultees were asked to respond by 8 February 2019, giving sufficient time to ensure clarity and consistency of the consultation and ensure that relevant statutory consultees had the opportunity to participate. All submissions (responses, comments, and recommendations) are appended to the EIAR and have informed the final scope of this EIAR.

6.3.1 List of Statutory Consultees

Please see Environmental Impact Assessment Report.

6.3.2 Consultation Responses

Of the 53 consultees contacted, the responses submitted are summarised in Table 5 below:

Table 5: Summary of Statutory Consultation Responses

Consultee	Response	Response Date
Coillte	Email - no objection	10/01/2019
Department of Agriculture, Fisheries, and Marine	Email - no objection	11/01/2019
Department of Culture, Heritage and the Gaeltacht (DAU) including National Parks and Wildlife Services (NPWS)	Email ref. G Pre00001/ 2019 requesting that the archaeological assessment be completed under certain guidelines as outlined Letter dated 22 March 2019 included points regarding ecological impacts for works proposed in Areas A3, A7 and A9.	06/02/2019 22/03/2019 12/06/2019

Consultee	Response	Response Date
	Letter dated 12 June 2019 included recommendations for the treatment of underwater archaeology and the proposed translocation of opposite-leaved pondweed and juvenile lamprey.	
Failte Ireland	Email with attached Guidelines on the treatment of tourism in an Environmental Impact Statement	09/01/2019
Inland Fisheries Ireland (IFI)	Letter with observations and recommendations regarding the design proposal, which were considered at the design stage of the project	05/01/2018
DTTAS Emergency Planning Unit	Email - no objection	07/01/2019
Transport Infrastructure Ireland	Email with General guidance for the preparation of an EIAR, where National Roads Network may be affected	23/01/2019

Responses to each of the statutory consultees are addressed in full in the EIAR for the project.

6.4 Conclusion

A comprehensive communications plan has been implemented for the King's Island Flood Relief Project since the commencement of the project in 2015.

Communications with non-statutory stakeholders has comprised four public information events and the establishment of a project web site and Twitter and Facebook feeds. The last public information event was held on 29 August 2019, when the planning application drawings were put on display in Merchant's Quay City Hall and discussed with attendees by the project team.

The relevant statutory consultees were all contacted at the beginning of the EIAR process and responses to each of the statutory consultees are addressed in full in the EIAR for the project.

7 Planning Policy Context

7.1 Introduction

This chapter presents an overview of planning policy context for the application for King's Island Flood Relief Scheme, in the context of national, regional and local planning policy and the legislation governing the proposed works. A description of the site is presented in Section 1.2 of this report, and a plan of the proposed works is shown in Figure 1 in Section 3.

7.2 The Need for the Proposed Project

King's Island is surrounded by the River Abbey and River Shannon, both of which are influenced by the tide and therefore highly susceptible to tidal and fluvial flooding. King's Island and the surrounding area were badly flooded in early 2014 when there was an extremely high tide that overtopped the embankments around the Island and caused them to fail in one location. Further flooding was experienced in 2016 as a result of another storm surge event in the Shannon Estuary. The 2016 flooding was confined to Merchant's Quay, as the sandbags around the Island contained the tidal surge.

As the island is highly susceptible to flood events, major improvements to the existing temporary flood defences are required to reduce impacts and frequency of extreme events which inundate the island. A design team led by Arup has been commissioned by Limerick City & County Council (LCCC) to provide the engineering and environmental services subject of this EIAR and deliver the King's Island Flood Relief Scheme.

In the absence of the proposed development works, flooding would persist and possibly worsen over time. The residual impacts of continued flooding would damage and de-value properties in the area and affect long term regeneration plans for King's Island and its environs.

It is intended the works will enhance and fortify the existing measures in place and be able to withstand the likely increased frequency and severity of future flooding events. The works have been designed and developed with a primary focus to protect the affected areas against fluvial and tidal flooding. The scheme proposed herein is designed to provide protection to properties in the study area from the 1 in 200 year tidal flood event.

Support for enhanced flood protection is encouraged under the National Planning Framework, regional and local objectives, and further supported under European Union Policy for flood risk assessment and management. These objectives and goals are set out in Sections 5.3 and 5.4 below.

7.3 European Union (EU) Law and Policy

7.3.1 EU ‘Floods’ Directive 2007

The EU Directive on the assessment and management of flood risk, often referred to as the ‘Floods Directive’, came into force in 2007 and works in tandem with the Water Framework Directive for the protection of water quality.

The requirements of the EU ‘Floods’ Directive have been implemented in Ireland as the assessment and management of floods through the Catchment Flood Risk Assessment and Management (CFRAM) Programme. Under CFRAM the Office of Public Works has published a series of documents and policies and plans that set out measures to deal with flood risk and the most at-risk communities. CFRAM recommends a proactive approach to flood risk and protection.

In terms of major Flood Relief Schemes, the current design standard of protection is to protect against the 1 in 100 year flood event, and for coastal areas the 1 in 200 year flood event. As King’s Island is highly susceptible to tidal flooding, the 1 in 200 year standard is considered appropriate for these works, therefore the proposed development is designed to provide protection to properties in the study area from the 1 in 200 year tidal flood event.

In addition, King’s Island is detailed within the Flood Risk Management Plan for the Shannon Upper and Lower River Basin, as set out in detail below. The plan sets out specific details in relation to flood risk management for the southwest region, to meet Ireland’s obligations under the 2007 EU ‘Floods’ Directive.

7.4 Planning Legislation and Policy Provisions

This section sets out the relevant guidance and policy objectives that have been considered in relation to the proposed flood defence works at King’s Island. Firstly, it considers the legislation governing the Irish planning system, specifically as it relates to flood management works. Then it moves on to discuss the broader level national strategic objectives, guidelines and policies adopted by the Irish Government in relation to spatial development, physical infrastructure and climate change agreements. This section also provides an overview of the regional context of the proposed works and considers local objectives and development standards as indicated within the City Development Plan.

7.4.1 The Planning and Development Act 2000 (as amended), and the Planning and Development Regulations 2001, as amended

The Planning and Development Act 2000 (as amended) forms the basis of the Irish planning system, setting out the detail of planning guidelines, obtaining planning permission and the process for Environmental Impact Assessment.

Limerick City and County Council wishes to prepare and submit an Application to An Bord Pleanála, under Section 226(1), of the Planning and Development Act, 2000 (as amended), for the construction of a Flood Relief Scheme for King's Island, Limerick. As outlined in Section 3.13 a number of elements of the scheme lie within the foreshore.

The prescribed classes of development and thresholds that trigger a mandatory Environmental Impact Assessment (EIA) are set out in Schedule 5 of the Planning and Development Regulations, 2001, as amended. The most relevant criterion is Class 10 of Part 2 of Schedule 5 which states:

10. Infrastructure projects

(f) (ii) Canalisation and flood relief works, where the immediate contributing sub-catchment of the proposed works (i.e. the difference between the contributing catchments at the upper and lower extent of the works) would exceed 100 hectares or where more than 2 hectares of wetland would be affected or where the length of river channel on which works are proposed would be greater than 2 kilometres (S.I. No.600/2001- Planning and Development Regulations 2001).

7.4.2 National Policy

Policies from National Planning Framework (NPF) 2040

The National Planning Framework (NPF) is the successor document to the National Spatial Strategy (NSS) and sets out a framework of policy objectives to help Ireland achieve its long-term sustainable goals. The strategic plan focuses on integrating Ireland's economic development, spatial planning, infrastructure planning and social considerations. It promotes environmentally focused planning at local level to tackle climate change and the implementation of appropriate measures to mitigate existing issues.

The plan aims to align itself with the UN Sustainable Development Goals, by ensuring that the decision process will safeguard the needs of future generations. These objectives are integrated as part of the National Strategic Outcomes (NSOs) in areas such as climate action, sustainable cities and innovation and infrastructure.

National Strategic Outcome 9 outlines the urgency of upgrading and investing in water management and environmental resources and it states:

Coordinate EU Flood Directive and Water Framework Directive implementation and statutory plans across the planning hierarchy, including national guidance on the relationship between the planning system and river basin management. Local authorities, DHPLG, OPW and other relevant Departments and agencies working together to implement the recommendations of the CFRAM programme will ensure that flood risk management policies and infrastructure are progressively implemented.

Flood relief measures are further highlighted under Section 9 of the NPF, titled Protecting Conserving and Enhancing our Natural Capital.

It is envisioned that planning will play a vital role in mitigating development in inappropriate or vulnerable areas and will aid the delivery and design of necessary infrastructure in our towns and cities.

National Policy Objective 41b emphasises the importance of flood relief works as part of the national agenda for climate adaptation.

National Policy Objective (NPO) 41b

The NPO 41b states that

In line with the collective aims of national policy regarding climate adaptation, to address the effects of sea level changes and coastal flooding and erosion and to support the implementation of adaptation response in vulnerable areas.

The proposed development works will deliver flood relief works adaptable for sea level rise to protect the city from the current effects of coastal and fluvial flood events as highlighted by NPO 41b.

Limerick City is identified as key growth city in the NPF. Section 3.4 of the plan outlines the importance of regeneration works for encouraging growth in Limerick City. One of the key future growth enablers for Limerick identified in the NPF is to:

“Identifying infill and regeneration opportunities to intensify housing and employment development throughout inner suburban areas”

The proposed works are consistent with these policy objectives to facilitate future development growth for Limerick City, allowing for future housing and employment opportunities in an area currently at risk from flooding.

The Planning System and Flood Risk Management 2009

The Office of Public Works (OPW) in conjunction with the Department of Environment, Heritage and Local Government (DEHLG) published a set of guidelines in relation to flood risk management. The plan advocates a proactive approach to prevent flooding from occurring. This includes, for example, adopting general policies for protection, improve or restore floodplains and the upgrading of flood barriers. Under these guidelines Planning Authorities have a key role in the delivery of effective measures, policies and infrastructure to minimise the risk of flooding.

In this regard, the proposed development by Limerick City and County Council acknowledges the key role of the Council in minimising flood risk.

Climate Change Sectoral Adaptation Plan for Flood Risk Management, 2015

The Climate Change Sectoral Adaptation Plan for Flood Risk Management sets out the policy on climate change adaptation of the OPW. The OPW is the lead agency for flood risk management in Ireland, based on a current understanding of the potential consequences of climate change for flooding and flood risk in Ireland. A revised statutory Sectoral Adaptation Plan will be prepared under the 2018 National Adaptation Framework.

Under the National Policy on Climate Action and Low Carbon Development (2014) each local Authority is required to develop a Climate Adaptation Strategy for the period 2019-2024. Limerick City & County Council have developed a Draft Climate Change Adaptation Strategy 2019-2024. The strategy deals with the effects of climate change such as Flooding, storms or increased temperatures.

Our Sustainable Future: Framework for Sustainable Development

The paper sets out the national vision to enhance Ireland's sustainable future and sets out the challenges and targets to be adhered to. In terms of flood management and flood risk assessment, the framework acknowledges the risk of flooding as one of the largest challenges to be addressed in the coming years. As most cities and towns on the island have developed along rivers and coastal areas, the majority of urban centres are exposed to flood risk.

As national economic prosperity is heavily reliant on the success of cities, the adoption of flood relief and protection is vital for future growth and will require the integration of comprehensive infrastructure as part of the built environment.

The proposed development, which will provide flood relief in King's Island, Limerick City, is aligned with this policy.

National Climate Change Policy 2007-2012

Developed as part of a wider Climate Change Strategy and to address Ireland's obligations under EU Directive for Climate Action, the plan sets out a commitment to regulate development in flood risk areas and to also consider the adaption of proactive initiatives for flood prevention, the development of which was overseen by the OPW.

The proposed development for King's Island is detailed in the flood management plan for the Shannon Upper and Lower River Basin.

7.4.3 Regional Policy

Mid-West Area Strategic Plan (MWASP) 2012-2030

The aim of the strategic plan is to facilitate and inform the implementation of the statutory processes. The constituent Planning Authorities of the Mid-West Region (Clare County Council, Limerick City and County Council and Tipperary North County Council) and the Mid-West Regional Authority have developed a non-statutory, 20-year, integrated land-use and transport strategy for the region. This will provide an evidence base which can inform transport and planning policy and infrastructure investment decisions in the Region to 2030. The MWASP was prepared to secure the following overall objectives:

- Prioritisation of investment in the region;
- Strengthening the Limerick/Shannon Gateway;
- Creation and support a well-defined hierarchy of settlement;

- Delivering the required transport infrastructure to meet the Plan objective; and
- Providing economic review and direction of the region.

The plan recognises the corridor of the River Shannon as the most important emerging tourism asset in the region, with its three main areas: the Shannon Estuary, Lough Derg, and lower/mid River Shannon. The plan highlights the potential in the corridor from boating, angling, wildlife, watching and walking, all supported activity-based tourism, including by a network of small attractive villages with good local roads and access.

In terms of delivering and implementation, the plan acknowledges that appropriate flood risk and mitigation measures must be delivered. In this respect the works proposed at King's Island are consistent with the objectives of the plan.

Strategic Integrated Framework Plan for the Shannon Estuary

The Strategic Integrated Framework Plan (SIFP) for the Shannon Estuary is an inter-jurisdictional land and marine based framework plan to oversee development and management of the Shannon Estuary. The plan seeks a balanced approach to facilitate economic growth and delivering careful protection for the natural environment.

SIFP MRI 1.3

Flood Risk

All proposals for development within the Strategic Development Locations identified above, should examine in detail the potential risks from fluvial and coastal flooding as well as sea level rise, to ensure the location and design of future development uses within these locations:

- *Pay due regard to available information on flooding and the outcome of the Shannon CFRAM study;*
- *Is appropriate for the level of flood risk identified at detailed planning and design stage*
- *Does not increase flood risk elsewhere*
- *Provides the appropriate level of flood protection where development in flood prone areas is deemed appropriate or justifiable*
- *Proposals should pay due regard to the Guidelines produced by the DOECLG and OPW for Planning Authorities 'The Planning System and Flood Risk Management – Guidelines for Planning Authorities'.*

In this respect, the proposed works are consistent with the policy outlined in the plan and deliver appropriate flood relief measures.

Draft Regional Spatial & Economic Strategy, Southern Region

The Draft Regional Spatial and Economic Strategy (RSES) for the Southern Region was published in late November 2018 and is anticipated will be adopted by the end of 2019. The plan provides a long-term regional level strategic plan for physical growth, economic investment and social development for the Southern Region and seeks to align national goals set out in the NPF with local considerations, subject to which flooding is identified as key challenge facing cities and towns in the region.

The RSES supports measures that address climate action, as outlined in the NPF. These include Renewable Energy, Sustainable Transport and Climate Resilience through Flood Defence. The latter will also provide for Flood Risk Management and will help reduce vulnerability in known flood zones.

The plan will also ensure the delivery and implementation of the Shannon Upper and Lower River Basin Management Plan.

RPO 4

Population Growth and Environmental Criteria

Increased population growth should be planned having regard to environmental criteria including:

- *The assimilative capacity of the receiving environment.*
 - *The proximity of European Sites and the potential for impact on the conservation objectives and qualifying interests.*
- *Areas that have potential to flood.*

RPO 7

Holistic Approach to Delivering Infrastructure

Ensure investment and delivery of comprehensive infrastructure packages to meet growth targets that prioritise the delivery of compact growth and sustainable mobility in accordance with NPF objectives to include the following: Water services, digital, green infrastructure, transport and sustainable travel, community and social, renewable energy, recreation, open space amenity, climate change adaptation and future proofing infrastructure including Flood Risk management measures, environmental improvement, arts, culture and public realm.

RPO 52

Tourism and the Environment

Development of new or enhanced tourism infrastructure and facilities should include an assessment of the environmental sensitivities of the area including an Environmental Impact Assessment (EIA); Appropriate Assessment (AA) and Strategic Flood Risk Assessment (SFRA) if required in order to avoid adverse impacts on the receiving environment.

Where such tourism infrastructure or facilities are developed, the managing authority/ agency should ensure that effective monitoring protocols are put in place to monitor and assess the ongoing effect of tourism on sensitive features with particular focus on natural, archaeological and built heritage assets.

RPO 108

Floods Directive

It is an objective to support, at a regional level, the implementation of the Floods Directive to manage flood risks. It is an objective to encourage collaboration between Local Authorities, OPW and other relevant Departments and agencies to implement the recommendations of the CFRAM programme to ensure that flood risk management policies and infrastructure are progressively implemented.

RPO 109

Flood Risk Management Objectives

a. It is an objective to ensure that the flood risk management objectives as set out in the Flood Risk Management Plans are fully considered in the development of planning policy and decision making by Local Authorities so that flood risk is a key driver in the identification of suitable locations for new development, considering the CFRAM flood maps and other flood maps as available.

RPO 110

Flood Risk Management Plans

Development and Local Area Plans in the region should take account of and incorporate the recommendations of the Flood Risk Management Plans, including planned investment measures for managing and reducing flood risk. Natural Water Retention Measures (NWRMS) should be incorporated where appropriate in consultation with the Office of Public Works (OPW) and other relevant stakeholders.

RPO 111

Planning System and Flood Risk Management

Consideration must be given to future appropriate land-use policies in accordance with the requirements of the Guidelines “The Planning System and Flood Risk Management, 2009”. Strategic and local flood risk assessments and plans should be prepared where appropriate, which should include consideration of potential impacts of flood risk arising from climate change. It is an objective to avoid inappropriate development in areas at risk of flooding and integrate sustainable water management solutions (such as SUDS, nonporous surfacing and green roofs) to create safe places in accordance with the Guidelines.

RPO 112**Flood Risk Management and Biodiversity**

It is an objective to avail of opportunities to enhance biodiversity and amenity and to ensure the protection of environmentally sensitive sites and habitats, including where flood risk management measures are planned. Plans and projects that have the potential to negatively impact on Natura 2000 sites are subject to the requirements of the Habitats Directive.

RPO 114**Flood Risk and Climate Change**

- b. support investment in subsequent projects by capital spending agencies to deliver flood relief schemes under National Strategic Outcome: Transition to a Low Carbon and Climate Resilient Society. Such projects should be future proofed for adaptation to consider potential impacts of climate change.*

RPO 115**River Basin Management Plan**

- a. It is an objective to ensure a cross-agency collaborative approach to implementing the River Basin Management Plan (RBMP). Planning Authorities shall ensure that land use plans and strategies are consistent with the RBMP.*
- b. It is an objective to ensure effective coordination between the requirements of the Floods Directive and the Water Framework Directive.*

RPO 117**River Basin Management Plan and Spatial Planning**

- a. The RSES recognises that planning is critically important to the management of water resources. It is an objective to encourage the better integration of water issues into Planning Authority land-use plans and strategies.*
- b. It is an objective to encourage the integration of river corridors with green infrastructure in settlements. The guidance document “Planning for Watercourses in the Urban Environment” published by Inland Fisheries Ireland provides an integrated watercourse protection strategy.*

The implications of climate change for the region are significant and consequences include greater risk and incidences of coastal, pluvial and fluvial flooding, with all the resulting risks to infrastructure, homes, businesses and the economic health of Limerick City. The RSES sets out two principal approaches for mitigation and adaptation works, as presented in the policies above. The works proposed in this planning application will reduce the existing vulnerabilities and deliver upgrades to the flood defences, consistent with the draft RSES.

Shannon Catchment Flood Risk Assessment and Management Study (CFRAM)

The Office of Public Works is working in partnership with their consultants, Local Authorities and other stakeholders to deliver the CFRAM Study for the Shannon River Basin District (RBD).

Work on the study started in January 2011. The Shannon RBD includes the entire catchment of the River Shannon and its estuary, covering some 17,800km² and approximately 20% of the island of Ireland. The RBD covers parts of 17 counties: Limerick, Clare, Tipperary, Offlay, Westmeath, Longford, Roscommon, Kerry, Galway, Leitrim, Cavan, Sligo, Mayo, Cork, Laois, Meath, and Fermanagh.

The study focuses on areas known to have experienced flooding in the past and areas that may be subject to flooding in the future either due to development pressures or climate change. The final output from the study will be Catchment Flood Risk Management Plans, which will define the current and future flood risk in the Shannon RBD and set out how this risk can be managed.

The full extent of the Area of Further Assessment defined for Limerick City lies within three Units of Management and includes all the developed land within the contiguous urban area of Limerick and all lands zoned for development in or adjacent to Limerick City (including areas that may be outside of the Limerick City and County Council jurisdictional boundary). For the purpose of this Study, this AFA will be assessed as part of Unit of Management 25-26. Any flood risk management options proposed for this AFA will therefore be documented within the FRMP for Unit of Management 25-26.

In this respect, the proposed development is consistent with the findings of the study, to provide flood relief measures at critical locations, in which Limerick City is identified.

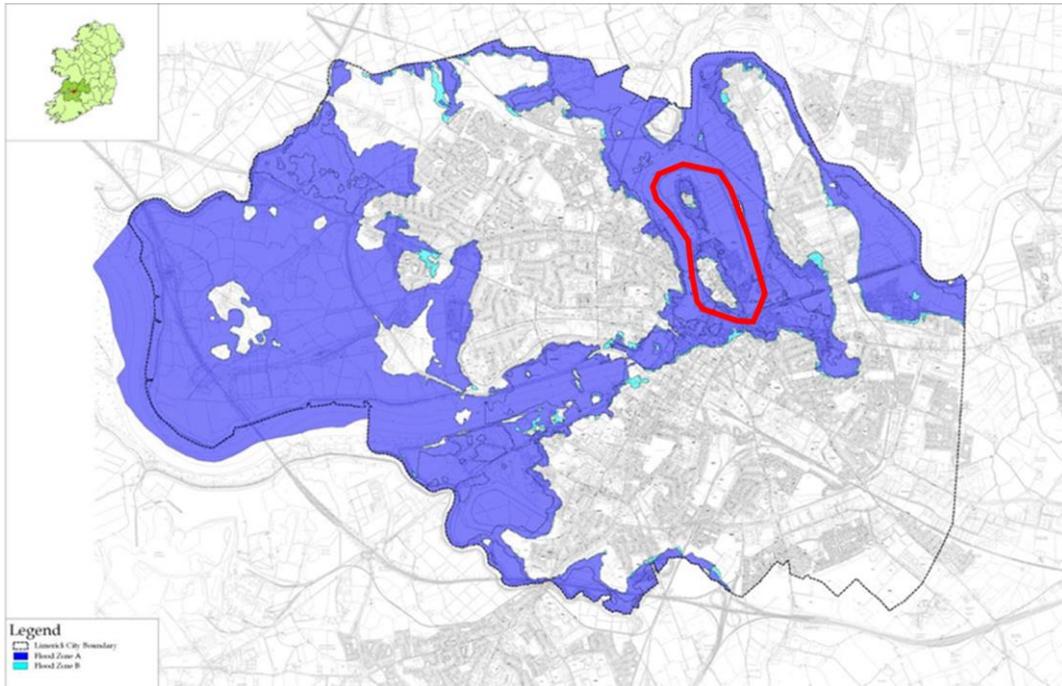
7.4.4 City Development Plan

The works proposed at King's Island and the subject of this planning application are within the development boundary of Limerick City and as such are under the jurisdiction of Limerick City and County Council. For the purposes of this section the scope of the works will be discussed separately to distinguish and clarify specific planning considerations in relation to each section of works and its location.

Limerick City Council Development Plan (LCDP) 2010-2016 (as Extended)

In the Limerick City Development Plan (LCDP), 2010-2016, the Flood Risk Map highlights that King's Island is at risk of flooding, indicating that it is within Flood Zone A (high probability of flooding), see Figure 12. As a result, all proposed developments are required to follow 'The Planning System and Flood Risk Management' (2009). These guidelines are included as policy statements in the LCDP.

Figure 12: Flood Risk Areas, Limerick City Development Plan (area generally outlined in red).



Policy WS8

Flood Protection

"It is the policy of Limerick City Council to continue to work toward reducing flooding within the City and ensure that all new development proposals comply fully with the requirements of 'Planning Systems & Flood Risk Management Guidelines for Planning Authorities' 2009, and any other guidance during the lifetime of the Development Plan".

The proposed works, subject of this planning application, seek to deliver such works and would be entirely consistent with the aims of policy WS.8.

Policy WS.9

Flood Risk

It is the policy of Limerick City Council to ensure that development should not itself be subject to an inappropriate risk of flooding nor should it cause or exacerbate such a risk at other locations.

As part of St. Mary's Park and Kings Island Framework Strategy in the LCDP, planning objective 6, states the need to prepare a flood risk assessment for King's Island and to determine the long-term flood remediation solution for King's Island. The proposed development is the Council's response to objective 6 of the Plan.

The preferred option, discussed in detail in Chapter 5, comprises works in Flood Cell A, which encompasses the northern section of the island known as St. Mary's Park, and contains the following sub areas.

Table 4: Project Sub-Areas (Flood Cell A)

	Area	Zoning
A1	Thomond Bridge to Verdant Place (as constructed)	2A Residential
A2	Verdant Place steps and crèche	2B Education, Community & Cultural
A3	North West Embankment	6A Public Open Space
A4	St. Mary's Park / SAC	6A Public Open Space
A5	Star Rovers to Athlunkard Boat Club	6A Public Open Space
A6	Athlunkard Boat Club	6A Public Open Space
A7	Sir Harry's Mall	1 (A, B, C) City Centre Area
	Absolute Hotel Boardwalk	1 (A, B, C) City Centre Area
	South of Absolute Hotel Boardwalk to Abbey Bridge	1 (A, B, C) City Centre Area
A10	Abbey Bridge to Baal's Bridge	1 (A, B, C) City Centre Area

Table 4 shows the zoning of each of the project's sub-areas. In terms of zoning, the works proposed for Flood Cell A are largely located on lands zoned '6A Public Open Space', *to retain all land dedicated for public open space*. Flood Cell A also includes some lands zoned 2A residential at St. Mary's Park, which seeks *to protect and provide for residential uses and associated uses to support sustainable communities*, and lands zoned 2B Education, Community & Cultural. Under the zoning matrix for the lands, the provision of public infrastructure is supported, provided works do not detract from residential amenity, therefore the works proposed are consistent with the zoning objective.

Flood Cell B comprising the southern section of the island, known as Englishtown, which forms part of the city core, see Table 5 for zoning.

Table 5: Project Sub-Areas (Flood Cell B)

	Area	Zoning
B1	George's Quay East	1 (A, B, C) City Centre Area
B2	George's Quay West	1 (A, B, C) City Centre Area
B3	Potato Market and Civic Buildings	1 (A, B, C) City Centre Area
B4	King John's Castle	1 (A, B, C) City Centre Area

Flood Cell B lands are primarily zoned '1 (A, B, C) City Centre Area', the zoning objective seeks

- To provide for the protection, upgrading and expansion of higher order retailing, in particular comparison retailing, and a range of other supporting uses in the City Centre retail area.
- To support the retention and expansion of a wide range of commercial, cultural, leisure and residential uses in the commercial core area, (apart from comparison retail uses).

- To reinforce the residential character of inner City residential neighbourhoods, while supporting the provision and retention of local services, and civic and institutional functions.

In terms of development, the zoning matrix for the city centre area permits all manner of development, provided it does not detract from retail activity, therefore the proposed works are acceptable and would protect retail activity in the city core.

Flood protection is in place in the form of quay walls, however, no defence is in place around the Potato Market and civic buildings on Merchant's Quay. Works to upgrade the existing infrastructure is supported under the LCDP and zoning objective for the area, and will support the achievement of retail, commercial and residential objectives of the Plan.

There are no designated Architectural Conservation Areas within Kings Island.

The Limerick City Development Plan 2010 - 2016 (as extended): Volume 3 Record of Protected Structures lists 44 structures within the study area. The National Inventory of Architectural Heritage (NIAH) Survey for Kings Island lists 31 sites within the subject area and it should be noted that there is a substantial degree of overlap with the Record of Protected Structures. King John's Castle is situated in Flood Cell B4 and no flood measures are proposed for this area and therefore would not impact the castle.

A portion of King's Island is designated as the Lower River Shannon Special Area of Conservation (SAC) and is situated upstream of the River Shannon and River Fergus Special Protection Area (SPA). These sites are protected under the EU Habitats Directive and are of international importance for their wetland, intertidal and estuarine habitats as well as wader and wildfowl populations. Chapter 11 of the EIAR, Landscape, Biodiversity and Recreation in the LCDP outlines the special protections in place for designated SAC sites.

Policy LBR.8

It is the policy of Limerick City Council to apply the precautionary principle in relation to proposed development in environmentally sensitive areas to ensure all potential adverse impacts on any designated natural heritage area and any NATURA 2000 sites arising from any proposed development or land use activity are avoided, remedied or mitigated.

Policy LBR.9

It is the policy of Limerick City Council to ensure that proposals along the River Shannon and other waterways associated with the River Shannon catchment within Limerick City will achieve an appropriate balance of uses commensurate with the sensitivity of the natural environment and avoiding adverse impacts on European conservation sites and sensitive natural receptors associated with the River Shannon.

In this respect a Natura Impact Assessment (NIS) has been prepared and it is concluded that the proposed development is appropriately balanced and do not impact the sensitive nature of the SAC.

Limerick Regeneration Framework Implementation Plan (2015)

The Limerick Regeneration Plan was introduced in September 2013 and focuses in the revitalisation of communities within Limerick City over the next 10 years by raising standards of living, opportunity, health and wellbeing for all residents of the regeneration areas. It is considered to be one of the largest capital programmes and largest regeneration programme in the State. The Plan includes €253m investment on physical, €30m on social, and €10m on economic programmes.

"The aim is to recognise, diagnose, and treat the root causes, as well as, symptoms of social and economic exclusion in Limerick regeneration areas- Moyross and St.Mary's Park on the city's northside and Southill and Ballinacurra Weston on the southside, so that future generations don't face the same challenges as current and former residents".

The proposed flood relief works seek to deliver much needed protection to King's Island, an area of the city highly susceptible to flood damage, and thus the scheme supports plans for future regeneration in the area.

7.5 Planning History

There are a number of historical planning applications associated with the proposed flood works area and in the vicinity of works. Table 6 below sets out the recent planning history associated with King's Island and the locations of works.

Table 6: Historical Planning Applications

Planning Ref. No	Development Description	Applicant	Location	Flood Cell	Status
06/770117	Permission granted, on basis of outline permission, for a single storey childcare facility	St. Mary's Area Integrated Development Ltd.	North of King's Island, Youth & Community Centre St Mary's Park	A3	Granted
08/770033	Development of office building with gallery and café for a site listed as a recorded monument	John Clogan	36-39 Nicholas Street King's Island	B3	Granted
09/770271	Amended permission to raise the site level, consisting 1.3m over existing rear open space at permitted child care facility	King's Island Community Creche Ltd.	North of King's Island, Youth & Community Centre St Mary's Park	A3	Granted
15/8004	Permission for the construction of two dwellings, including solar panels and associated site work at a protected structure, the Old Gaol (RPS053)	Limerick City Council (Part 8)	Gaol Lane	A10	Granted

Planning Ref. No	Development Description	Applicant	Location	Flood Cell	Status
16/8000	Provision of flood defences consisting of; new flood defence walls new footpath from Thomond Bridge to the existing embankment at the north of the community centre, realignment of the existing road following protected structures former Thomond Bridge Toll House (RPS No. 38), Verdant Place stretch of the City Wall (RPS No. 59) and Thomond Bridge (RPS No. 428)	Limerick City Council (Part 8)	Verdant Place King's Island Limerick	A1	Granted
16/8007	For construction of 20 no. residential dwellings and public realm works on St. Columcille's Street	Limerick City Council (Part 8)	St. Mary's Park King's Island	A3	As yet no decision has been made public
18/1093	The construction of a toilet block, a drying room and a covered outdoor area for existing crèche facility and all ancillary site works	Board of Management of King's Island Community Creche	Verdant Place, St. Mary's Park King's Island	A3	Granted
18/8006	For the construction of a new district play area and outdoor gym facility including all necessary site works	Limerick City Council (Part 8)	Verdant Place St. Mary's Park King's Island	A3	Granted

7.6 Conclusion

Having regard to the provisions of the documents listed below, it is concluded that the proposed development is in compliance with national, regional and local planning policy provisions and would not seriously injure the amenities of the area or significantly impact the current land use objectives in King's Island and would therefore be in accordance with the proper planning and sustainable development of the area.

- EU 'Floods' Directive 2007;
- The National Planning Framework;
- The Draft Regional Spatial and Economic Strategy for the Southern Region;
- The Planning System and Flood Risk Management 2009;
- Climate Change Sectoral Adaptation Plan for Flood Risk Management, 2015;
- Our Sustainable Future: Framework for Sustainable Development;
- National Climate Change Policy 2007 - 2012;
- Mid-West Area Strategic Plan (MWASP) 2012 - 2030;

- Shannon Catchment Flood Risk Assessment and Management Study (CFRAM);
- Limerick City Council Development Plan (LCDP) 2010 - 2016 (as Extended).

8 Conclusion

This application seeks approval from An Bord Pleanála for the proposed King's Island Flood Relief Scheme.

King's Island has a long history of flooding and one which urgently needs to be addressed.

If approved, the scheme will provide flood defence measures to protect King's Island from 1 in 200 year flood events. This will help support the environmental, social and economic development of Limerick, and the King's island area in particular.

The proposed scheme has been assessed in detail and is considered to be appropriate for its location, having regard to National, Regional and Local Planning Policy and Land Use Zoning Objectives.

In addition, the nature, form and extent of the proposed development has been informed and guided by detailed pre-application consultation with members of the public, council members, local businesses, representative individuals and organisations and statutory bodies.

The project steering group consisting of Limerick City and County Council, the Office of Public Works and the various design consultants are satisfied that the Scheme now being brought forward has been the subject of rigorous assessment and consideration of all of the necessary requirements, constraints, objectives and opportunities and represents a high quality design which is the optimum solution in terms of integrated and holistic flood protection. The Office of Public Works has confirmed funding for the project is approved in principle and set out in the spending estimates for the coming years.

For the reasons highlighted above, and as further evidenced in the EIAR, NIS, design drawings and Landscape and Public Realm Design Strategy Document, along with other supporting plans and particulars forming part of this application, approval is now sought from An Bord Pleanála to grant permission for this urgently needed transformational Scheme.

Appendix A

Applicant Fee Receipt



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

bord@pleanala.ie

An Bord Pleanala
64 Marlborough Street Dublin 1
Ireland

Supp ID / Uimh. Áitheantais Soláthraí 34113
Pay Date / Dáta Íocaíochta 13/12/2019
Page / Leathanach 1 of 1

REMITTANCE ADVICE OF PAYMENT BY EFT / DUILLÍN ÍOCAÍOCHTA FAOI ÍOCAÍOCHT EFT

Your Ref/ Bhur dTagairt	Inv Date/ Dáta Sonraisc	Our Ref/ Ár dTagairt	AMOUNT/ SUIM EUR	Payable/ Iníochta EUR
Planning App Kings Island Flood Relief	06/12/2019	32327797	30,000.00	30,000.00
PAGE TOTAL / IOMLÁN AN LEATHANAIGH			EUR	30,000.00
GRAND TOTAL / MÓRIOMLÁN			EUR	30,000.00

WH = Withholding Tax CT = Subcontractors Tax RA = Non Resident Landlord
INT = Late Payment Interest, Rate = 8.25% CMP = Late Payment Compensation

PAYMENT ACCOUNT DETAILS / SONRAÍ CUNTAIS ÍOCAÍOCHTA

BIC AIBKIE2DXXX
IBAN IE70AIBK931055XXXX6067
ACCOUNT NAME / AINM CUNTAIS An Bord Pleanala

Appendix B

Copy of Newspaper Notices and
Copy of Site Notice

Classifieds

PUBLIC NOTICES



Comhairle Cathrach
& Contae Luimnigh
Limerick City
& County Council

PUBLIC NOTICE

**PLANNING AND DEVELOPMENT ACT 2000 AS AMENDED
PLANNING AND DEVELOPMENT REGULATIONS 2001 AS AMENDED
NOTICE PURSUANT TO:**

**SECTION 226 OF THE PLANNING AND DEVELOPMENT ACT 2000, AS
AMENDED AND THE PLANNING AND DEVELOPMENT REGULATIONS
2001, AS AMENDED**

**LIMERICK CITY & COUNTY COUNCIL PROPOSES TO SEEK APPROVAL
FROM AN BORD PLEANÁLA FOR THE FOLLOWING PROPOSED
DEVELOPMENT:**

KING'S ISLAND FLOOD RELIEF SCHEME

The proposed works are located in King's Island in Limerick City. King's Island is situated in the centre of Limerick City and is surrounded by the waters of the River Shannon and the Abbey River. The island is characterised by two distinct areas, the northern portion is known as St. Mary's Park, a residential development of mostly two storey semi-detached dwellings and surrounded by large green areas, which act as a natural buffer running along the river's edge. To the south is Englishtown, which runs along the south west of the island, and is regarded as the historic core of Limerick City, home to cultural buildings like St. Mary's Cathedral and King John's Castle and includes restaurants, businesses and some residential dwellings built along the water's edge and is generally considered the more urban area of the island.

The proposed works consist of a replacement railing on Verdant Place and an extension of the flood defence wall at rear of crèche/community centre, construction of a contoured earthen embankments opposite Oliver Plunkett Street as far as the tie in with the outer embankment at the north end of the island, relocation of open drain in north west corner of St. Mary's Park to the toe of proposed earthen embankment, cutting down of existing sheet piles on outer embankment and repair of existing walkway, construction of a contoured earthen embankment to the rear of St. Munchin's Street which extends through Star Rovers and Athlunkard Football Clubs and the green areas of Lee Estate/Abbey View as far as Athlunkard Boat Club. The scheme includes for the relocation of the astro turf pitch including floodlighting and the provision of fencing and ball stops at playing pitches. A three-metre wide footpath/cycleway including public lighting is proposed on top of the earthen embankment with pedestrian linkages to St. Mary's Park. The proposed works include for the construction of new flood defence wall at Athlunkard Boat Club with new vehicular entrance and internal access roadway, raising a section of existing wall along Sir Harry's Mall with footpath alteration, replacement of existing walls to the rear of Absolute Hotel as far as Baal's Bridge, replacement of existing wall along George's Quay with new flood defence wall and sections of glazed flood defence panels, road raising at junction of Bridge Street, replacement of cantilever opening in Potato Market with glazed flood defence panel, provision of pedestrian ramp/steps at the pedestrian bridge into the Potato Market and a new flood defence wall on the western edge of the Potato Market. The proposed works include for the construction of a vehicular ramp with automatic flood barrier near the entrance to Curragower Boat Club and a new wall between Curragower Boat Club and the Courthouse. Works in Merchant's Quay involve the setting back of existing railings and removal of the cantilever walkway around the Courthouse and provision of a new cantilever with glazed flood defence panels. There is a combination of glazed flood defence panels and flood defence walls proposed from the Courthouse as far as King's John's Castle. The scheme includes for the construction of a gravity foul sewer from the rear of Civic Offices to George's Quay and decommissioning of three foul sewer pumping stations, construction of two inter tidal storage tanks and a new surface water network in Merchant's Quay and George's Quay. The proposed works includes for road reconstruction, road regrading, drainage works, tree felling, tree planting, landscaping and all associated and ancillary works. The proposed development is subject to a separate application for a foreshore licence.

An Environmental Impact Assessment Report (EIAR) and a Natura Impact Statement (NIS) have been prepared in respect of the proposed development.

The application for permission, EIAR and NIS will be available for inspection free of charge, or may be purchased on payment of a specified fee (which fee shall not exceed the reasonable cost of making such a copy) during public opening hours (excluding Public Holidays and Offices of An Bord Pleanála closed on 27th December 2019 and Limerick City & County Council Offices closed 24th & 27th December 2019), from 23rd December 2019 to 14th February 2020 (inclusive of both dates), at the following locations:

- The Offices of An Bord Pleanála, 64 Marlborough Street, Dublin 1, D01 V902
- Limerick City & County Council, Corporate Headquarters, Merchant's Quay Limerick, V94 EH90

The application plans and particulars, the EIAR and NIS may also be viewed at or downloaded from the following websites: <http://www.kingsislandfrs.ie> and <http://mypoint.limerick.ie>

Submissions or observations may be made in writing only to An Bord Pleanála ('the Board') 64 Marlborough Street, Dublin 1, D01 V902 in respect of:

- The implications of the proposed development for proper planning and sustainable development in the area concerned, and
- The likely effects on the environment of the proposed development, if carried out, and
- The likely significant effects of the proposed development on a European site, if carried out.

Any submissions / observations must be accompanied by a fee of €50 (except for certain prescribed bodies) and must be received by the Board not later than 5.30 p.m. on **14th February 2019**. Such submissions or observations must include the following information:

1. The name of the person, authority or body making the submission or observation, the name of the person, if any, acting on behalf of that person, authority or body, and the address to which any correspondence relating to the application should be sent,
2. The subject matter of the submission or observation, and
3. The reasons, considerations and arguments on which the submission or observation is based in full.

An Bord Pleanála may give approval to the application for development with or without conditions or may refuse the application for development.

Any person may question the validity of any such decision of the Board made in respect of the application for permission by way of an application for judicial review, under Order 84 of the Rule of the Superior Courts (S.I. No. 15 of 1986, as amended by S.I. No. 691 of 2011), in accordance with Section 50 of the Planning and Development Act, 2000 as amended. Practical information on the review mechanism can be accessed under the heading Publications – Judicial Review Notice on the Board's website www.pleanala.ie or on the Citizens Information Service website www.citizensinformation.ie.

Any enquiries relating to the application process should be directed to An Bord Pleanála (Telephone: 01 8588100).

Joe Delaney, A/Director of Services,
Limerick City and County Council, Merchant's Quay, Limerick

Limerick.ie

PUBLIC NOTICES

RECORD NO. 2018/4080P

THE HIGH COURT

BETWEEN:

EDWARD SHANAHAN - PLAINTIFF

-AND-

KEVIN POWER, SUZANNE FITZPATRICK

AND THE MOTOR INSURERS BUREAU OF IRELAND - DEFENDANTS

TAKE NOTICE that arising from an Order of the High Court (Ms Justice Murphy) dated 9th December 2019, it was ordered that service on the First and Second Named Defendants of the pleadings and applications in the above proceedings be effected by placing an advertisement in this newspaper.

The Personal Injury Summons against the First and Second named defendant, namely Kevin Power and Suzanne Fitzpatrick, arises out of a road traffic collision which occurred on the 7th November 2014 on the public highway at or near Ballybrown in the County of Limerick and in which the Plaintiff sustained injuries as a result of the negligence, breach of duty including breach of statutory duty on the part of the First and Second Named Defendant.

TAKE NOTICE that the First and Second named Defendants have a period of 8 days from the date of this publication to enter an Appearance to the proceedings at the Central Office, the Four Courts, Dublin, failing which, an application for Judgement in Default of Appearance will be made by the Plaintiff.

A copy of the proceedings can be taken up by the First and/or Second named Defendant from the Plaintiff's Solicitors, Browne and Murphy Solicitors, whose office is located at 64 O'Connell Street, Limerick.

LIMERICK LEADER

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Leader

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BREAKING NEWS

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LIMERICK CITY AND COUNTY COUNCIL

SITE NOTICE

PLANNING AND DEVELOPMENT ACT 2000 as amended
PLANNING AND DEVELOPMENT REGULATIONS 2001 as amended
NOTICE PURSUANT TO:

Section 226 of the Planning and Development Act 2000, as amended and the Planning and Development Regulations 2001, as amended

Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

King's Island Flood Relief Scheme

The proposed works are located in King's Island in Limerick City. King's Island is situated in the centre of Limerick City and is surrounded by the waters of the River Shannon and the Abbey River. The island is characterised by two distinct areas, the northern portion is known as St. Mary's Park, a residential development of mostly two storey semi-detached dwellings and surrounded by large green areas, which act as a natural buffer running along the river's edge. To the south is Englishtown, which runs along the south west of the island, and is regarded as the historic core of Limerick City, home to cultural buildings like St. Mary's Cathedral and King John's Castle and includes restaurants, businesses and some residential dwellings built along the water's edge and is generally considered the more urban area of the island.

The proposed works consist of a replacement railing on Verdant Place and an extension of the flood defence wall at rear of crèche/community centre, construction of a contoured earthen embankments opposite Oliver Plunkett Street as far as the tie in with the outer embankment at the north end of the island, relocation of open drain in north west corner of St. Mary's Park to the toe of proposed earthen embankment, cutting down of existing sheet piles on outer embankment and repair of existing walkway, construction of a contoured earthen embankment to the rear of St. Munchin's Street which extends through Star Rovers and Athlunkard Football Clubs and the green areas of Lee Estate/Abbey View as far as Athlunkard Boat Club. The scheme includes for the relocation of the astro turf pitch including floodlighting and the provision of fencing and ball stops at playing pitches. A three-metre wide footpath/cycleway including public lighting is proposed on top of the earthen embankment with pedestrian linkages to St. Mary's Park. The proposed works include for the construction of new flood defence wall at Athlunkard Boat Club with new vehicular entrance and internal access roadway, raising a section of existing wall along Sir Harry's Mall with footpath alteration, replacement of existing walls to the rear of Absolute Hotel as far as Baal's Bridge, replacement of existing wall along George's Quay with new flood defence wall and sections of glazed flood defence panels, road raising at junction of Bridge Street, replacement of cantilever opening in Potato Market with glazed flood defence panel, provision of pedestrian ramp/steps at the pedestrian bridge into the Potato Market and a new flood defence wall on the western edge of the Potato Market. The proposed works include for the construction of a vehicular ramp with automatic flood barrier near the entrance to Curragower Boat Club and a new wall between Curragower Boat Club and the Courthouse. Works in Merchant's Quay involve the setting back of existing railings and removal of the cantilever walkway around the Courthouse and provision of a new cantilever with glazed flood defence panels. There is a combination of glazed flood defence panels and flood defence walls proposed from the Courthouse as far as King's John's Castle. The scheme includes for the construction of a gravity foul sewer from the rear of Civic Offices to George's Quay and decommissioning of three foul sewer pumping stations, construction of two inter tidal storage tanks and a new surface water network in Merchant's Quay and George's Quay. The proposed works includes for road reconstruction, road regrading, drainage works, tree felling, tree planting, landscaping and all associated and ancillary works. The proposed development is subject to a separate application for a foreshore licence.

An **Environmental Impact Assessment Report (EIAR)** and a **Natura Impact Statement (NIS)** have been prepared in respect of the proposed development.

The application for permission, EIAR and NIS will be available for inspection free of charge, or may be purchased on payment of a specified fee (which fee shall not exceed the reasonable cost of making such a copy) during public opening hours (excluding Public Holidays and Offices of An Bord Pleanála closed on 27th December 2019 and Limerick City & County Council Offices closed 24th & 27th December 2019), from 23rd December 2019 to 14th February 2020 (inclusive of both dates), at the following locations:

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Submissions or observations may be made in writing only to An Bord Pleanála ('the Board') 64 Marlborough Street, Dublin 1, D01 V902 in respect of:

- (i) The implications of the proposed development for proper planning and sustainable development in the area concerned, and
- (ii) The likely effects on the environment of the proposed development, if carried out, and
- (iii) The likely significant effects of the proposed development on a European site, if carried out.

Any submissions / observations must be accompanied by a fee of €50 (except for certain prescribed bodies) and must be received by the Board not later than 5.30 p.m. on **14th February 2020**. Such submissions or observations must include the following information:

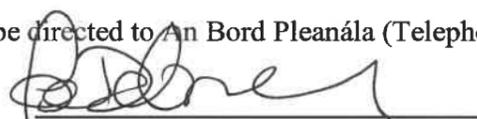
1. The name of the person, authority or body making the submission or observation, the name of the person, if any, acting on behalf of that person, authority or body, and the address to which any correspondence relating to the application should be sent,
2. The subject matter of the submission or observation, and
3. The reasons, considerations and arguments on which the submission or observation is based in full.

An Bord Pleanála may give approval to the application for development with or without conditions or may refuse the application for development.

Any person may question the validity of any such decision of the Board made in respect of the application for permission by way of an application for judicial review, under Order 84 of the Rule of the Superior Courts (S.I. No. 15 of 1986, as amended by S.I. No. 691 of 2011), in accordance with Section 50 of the Planning and Development Act, 2000 as amended. Practical information on the review mechanism can be accessed under the heading Publications – Judicial Review Notice on the Board's website www.pleanala.ie or on the Citizens Information Service website www.citizensinformation.ie.

Any enquiries relating to the application process should be directed to An Bord Pleanála (Telephone: 01 8588100).

Signed



Joe Delaney, A/Director of Services,
Limerick City & County Council, Merchant's Quay, Limerick
18th December 2019

Date of erection of notice



Desperate to be home for Christmas: Hannah Donnelly, with her younger sister Keelin, has been waiting in hospital for a home care package for 19 months

ne – hospital is no life for a girl of 18'

age, as Hannah needs nursing care. With her scoliosis and problems, it's not able for her to live at home without 24-hour care." Her family say they have "begged" the HSE and tried to organise a home care package for Hannah, but have been given no information when they can get it. "It's so hard when you're waiting anywhere. The package has gone in, and I had no feedback," Ms Donnelly said. "The HSE says it isn't the issue, they've taken her to hospital, and we've just want her to have a

quality of life, with her family around her, the only thing she wants is to be home for Christmas.

"She can't speak, she spells things out, and now she cries sometimes when we ask her what she wants and she says she just wants to go home."

Ms Lambe says she feels she has done all she can, and asks that Health Minister Simon Harris looks into Hannah's case.

"I would just say to him, 'Please let my daughter come home, she needs a life, the best life she can have'."

"Hospital is no life for a girl of 18, she's spent three years in hospital, we're getting nowhere, this wouldn't be

happening if it was their children," she said.

Ms Lambe has all but given up hope of having Hannah home for December 25. "I can't see her getting discharged, can't see her getting home for Christmas at this stage," she added.

Local Sinn Féin TD Imelda Munster has called on the Taoiseach and Minister Harris to ensure that funding is approved for a home care package for Hannah in the Dáil this week.

"I am asking them again if they will show some compassion and make sure Hannah's home care package is approved to facilitate her return home."

Benefit from new €2m support fund

Women experiencing fertility difficulties. Around one in seven couples have difficulty conceiving, but about 84pc of couples can conceive naturally within

one year for couples who have been trying to conceive for more than three years without success. The likelihood of getting pregnant naturally within the first year is 25pc or less. The majority of clinics in Ireland list IVF at costing between €4,500 and €5,000. Some can cost from €200

up to almost €9,000.

Fertility treatments include medical treatment for lack of regular ovulation or surgical

Around one in seven couples may have difficulty conceiving

procedures, such as treatment for endometriosis, repair of the fallopian tubes, or removal of scarring within the womb or abdominal cavity.

At a more advanced level,

there will be a need for assisted conception - this may be intrauterine insemination (IUI) or in vitro fertilisation (IVF).

Although assisted conception treatment is not funded publicly, there is some support available - in that patients who access IVF treatment privately may claim under the tax relief for medical expenses scheme.

In addition, a defined list of fertility medicines needed for fertility treatment is covered under the High Tech Arrangements scheme from the HSE.



Comhairle Cathrach & Contae Luimnigh

Limerick City & County Council

PUBLIC NOTICE

PLANNING AND DEVELOPMENT ACT 2000 AS AMENDED PLANNING AND DEVELOPMENT REGULATIONS 2001 AS AMENDED NOTICE PURSUANT TO:

SECTION 226 OF THE PLANNING AND DEVELOPMENT ACT 2000, AS AMENDED AND THE PLANNING AND DEVELOPMENT REGULATIONS 2001, AS AMENDED

LIMERICK CITY & COUNTY COUNCIL PROPOSES TO SEEK APPROVAL FROM AN BORD PLEANÁLA FOR THE FOLLOWING PROPOSED DEVELOPMENT:

KING'S ISLAND FLOOD RELIEF SCHEME

The proposed works are located in King's Island in Limerick City. King's Island is situated in the centre of Limerick City and is surrounded by the waters of the River Shannon and the Abbey River. The island is characterised by two distinct areas, the northern portion is known as St. Mary's Park, a residential development of mostly two storey semi-detached dwellings and surrounded by large green areas, which act as a natural buffer running along the river's edge. To the south is Englishtown, which runs along the south west of the island, and is regarded as the historic core of Limerick City, home to cultural buildings like St. Mary's Cathedral and King John's Castle and includes restaurants, businesses and some residential dwellings built along the water's edge and is generally considered the more urban area of the island.

The proposed works consist of a replacement railing on Verdant Place and an extension of the flood defence wall at rear of crèche/community centre, construction of a contoured earthen embankments opposite Oliver Plunkett Street as far as the tie in with the outer embankment at the north end of the island, relocation of open drain in north west corner of St. Mary's Park to the toe of proposed earthen embankment, cutting down of existing sheet piles on outer embankment and repair of existing walkway, construction of a contoured earthen embankment to the rear of St. Munchin's Street which extends through Star Rovers and Athlunkard Football Clubs and the green areas of Lee Estate/Abbey View as far as Athlunkard Boat Club. The scheme includes for the relocation of the astro turf pitch including floodlighting and the provision of fencing and ball stops at playing pitches. A three-metre wide footpath/cycleway including public lighting is proposed on top of the earthen embankment with pedestrian linkages to St. Mary's Park. The proposed works include for the construction of new flood defence wall at Athlunkard Boat Club with new vehicular entrance and internal access roadway, raising a section of existing wall along Sir Harry's Mall with footpath alteration, replacement of existing walls to the rear of Absolute Hotel as far as Baal's Bridge, replacement of existing wall along George's Quay with new flood defence wall and sections of glazed flood defence panels, road raising at junction of Bridge Street, replacement of cantilever opening in Potato Market with glazed flood defence panel, provision of pedestrian ramp/steps at the pedestrian bridge into the Potato Market and a new flood defence wall on the western edge of the Potato Market. The proposed works include for the construction of a vehicular ramp with automatic flood barrier near the entrance to Curragower Boat Club and a new wall between Curragower Boat Club and the Courthouse. Works in Merchant's Quay involve the setting back of existing railings and removal of the cantilever walkway around the Courthouse and provision of a new cantilever with glazed flood defence panels. There is a combination of glazed flood defence panels and flood defence walls proposed from the Courthouse as far as King's John's Castle. The scheme includes for the construction of a gravity foul sewer from the rear of Civic Offices to George's Quay and decommissioning of three foul sewer pumping stations, construction of two inter tidal storage tanks and a new surface water network in Merchant's Quay and George's Quay. The proposed works includes for road reconstruction, road regrading, drainage works, tree felling, tree planting, landscaping and all associated and ancillary works. The proposed development is subject to a separate application for a foreshore licence.

An Environmental Impact Assessment Report (EIAR) and a Natura Impact Statement (NIS) have been prepared in respect of the proposed development.

The application for permission, EIAR and NIS will be available for inspection free of charge, or may be purchased on payment of a specified fee (which fee shall not exceed the reasonable cost of making such a copy) during public opening hours (excluding Public Holidays and Offices of An Bord Pleanála closed on 27th December 2019 and Limerick City & County Council Offices closed 24th & 27th December 2019), from 23rd December 2019 to 14th February 2020 (inclusive of both dates), at the following locations:

- The Offices of An Bord Pleanála, 64 Marlborough Street, Dublin 1, D01 V902
- Limerick City & County Council, Corporate Headquarters, Merchant's Quay Limerick, V94 EH90

The application plans and particulars, the EIAR and NIS may also be viewed at or downloaded from the following websites: <http://www.kingsislandfrs.ie> and <http://mypoint.limerick.ie>

Submissions or observations may be made in writing only to An Bord Pleanála ('the Board') 64 Marlborough Street, Dublin 1, D01 V902 in respect of:

- The implications of the proposed development for proper planning and sustainable development in the area concerned, and
- The likely effects on the environment of the proposed development, if carried out, and
- The likely significant effects of the proposed development on a European site, if carried out.

Any submissions / observations must be accompanied by a fee of €50 (except for certain prescribed bodies) and must be received by the Board not later than 5.30 p.m. on 14th February 2019. Such submissions or observations must include the following information:

- The name of the person, authority or body making the submission or observation, the name of the person, if any, acting on behalf of that person, authority or body, and the address to which any correspondence relating to the application should be sent,
- The subject matter of the submission or observation, and
- The reasons, considerations and arguments on which the submission or observation is based in full.

An Bord Pleanála may give approval to the application for development with or without conditions or may refuse the application for development.

Any person may question the validity of any such decision of the Board made in respect of the application for permission by way of an application for judicial review, under Order 84 of the Rule of the Superior Courts (S.I. No. 15 of 1986, as amended by S.I. No. 691 of 2011), in accordance with Section 50 of the Planning and Development Act, 2000 as amended. Practical information on the review mechanism can be accessed under the heading Publications - Judicial Review Notice on the Board's website www.pleanala.ie or on the Citizens Information Service website www.citizensinformation.ie.

Any enquiries relating to the application process should be directed to An Bord Pleanála (Telephone: 01 8588100).

Joe Delaney, A/Director of Services,
Limerick City and County Council, Merchant's Quay, Limerick

Appendix C

Copy of Letters to Prescribed
Bodies



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Seirbhísi Dearaidh agus Soláthair,
Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorpóraideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Mr Dave Molloy
Assistant National Director
Environmental Health and Emergency Planning
Health Service Executive
Oak House, Lime Tree Avenue
Millennium Park
Naas
Co Kildare

EIRCODE V94 EH90

t: +353 (0) 61 557 180

Planning Referral

Section 226 of the Planning and Development Act 2000, as amended and the Planning and Development Regulations 2001, as amended
Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

King's Island Flood Relief Scheme

19th December 2019

Dear Mr Molloy,

An **Environmental Impact Assessment Report (EIAR)** and a **Natura Impact Statement (NIS)** have been prepared in respect of the proposed development. The application plans and particulars, the EIAR and NIS are attached in hardcopy.

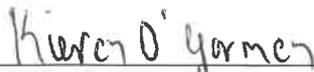
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2. The subject matter of the submission or observation, and
3. The reasons, considerations and arguments on which the submission or observation is based in full.

Yours Sincerely,


Kieran O'Gorman - Senior Executive Engineer
Design & Delivery Services



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Seirbhísi Dearaidh agus Soláthair,
Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorpáraideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Development Applications Unit
Department of Culture, Heritage and the Gaeltacht
Newtown Road
Wexford
Y35 AP90

EIRCODE V94 EH90

t: +353 (0) 61 557 180

Planning Referral

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Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

King's Island Flood Relief Scheme

By Email: manager.dau@chg.gov.ie

By Letter

19th December 2019

Dear Sir/Madam ,

An **Environmental Impact Assessment Report (EIAR)** and a **Natura Impact Statement (NIS)** have been prepared in respect of the proposed development. The application plans and particulars, the EIAR and NIS may be viewed at or downloaded from the following website: <http://mvpoin.limerick.ie>

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Yours Sincerely,


Kieran O'Gorman, Senior Executive Engineer
Design & Delivery Services



**CRITERIA FOR REFERRAL FORM
UNDER THE PLANNING AND DEVELOPMENT REGULATIONS 2001, AS AMENDED**

Limerick City & County Council considers that the attached development application

Reference No. 19/ may impact on:-

Applicable	*Archaeology	Not Applicable
<input checked="" type="checkbox"/>	<p>A recorded or national monument or because the proposed development is large in scale (i.e. 0.5 hectares or more in area; or 1 km or more in length)</p> <p>Monument Record No. <u>LI005-017075 & LI005-017101</u> Description <u>Within the Limerick City Zone of Archaeological Notification.</u></p> <p><i>Please include a copy of any archaeological reports that were submitted with the application, e.g. Archaeological Impact Assessment</i></p>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<p>*Architectural Heritage</p> <p>NIAH Record No.(s) _____ RPS No.(s) <u>RPS 59 & 314</u> Description <u>Limerick City Walls - Verdant Place & Athlunkard Boat Club</u></p> <p><i>Please include a copy of any architectural heritage reports that were submitted with the application, e.g. Conservation Report, Architectural Impact Assessment, Visual Impact Assessment</i></p>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<p>*Natural Heritage (nature conservation)</p> <p>NHA Site Code <u>Fergus Estuary & Inner Shannon - North Shore</u> SAC Site Code <u>002165 - Lower River Shannon SAC</u> SPA Site Code _____</p> <p><i>Please include a copy of any nature conservation reports that were submitted with the application, e.g. AA Screening, Natura Impact Statement</i></p>	<input type="checkbox"/>

Note: (* please tick either **Applicable** or **Not Applicable** for each category which it appears could be impacted upon by the proposed development, or otherwise.)

Note: In-house professional expertise available to the planning authority should be used in each case and category regarding criteria and grounds for referral.

Any submission by the DAU in respect of the King's Island Flood Relief Scheme is to be send to An Bord Pleanala no later than 5.30 p.m. on **14th February 2020**.



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Seirbhísí Dearaidh agus Soláthair,
Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Irish Water
Planning Referrals
Colvill House
24-26 Talbot Street
Mountjoy
Dublin

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

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Yours Sincerely,

Kieran O'Gorman
Senior Executive Engineer
Design & Delivery Services



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Limerick City
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Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Mr Michael Fitzsimons
Inland Fisheries Ireland
Ashbourne Business Park
Dock Road
Limerick

EIRCODE V94 EH90

t: +353 (0) 61 557 180

Planning Referral

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Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

King's Island Flood Relief Scheme

By Email: michael.fitzsimons@fisheriesireland.ie

By Letter

19th December 2019

Dear Mr Fitzsimons,

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Design & Delivery Services



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& Contae **Luimnigh**

Limerick City
& County Council

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Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Waterways Ireland
2 Sligo Road
Enniskillen
Co Fermanagh
BT74 7JY

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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Yours Sincerely,

Kieran O'Gorman Senior Executive Engineer
Design & Delivery Services



Comhairle Cathrach
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Limerick City
& County Council

Seirbhísí Dearaidh agus Soláthair,
Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorporáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

An Taisce
Tailors' Hall
Back Lane
Dublin 8

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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Yours Sincerely,

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Design & Delivery Services



Comhairle Cathrach
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Limerick City
& County Council

Seirbhísí Dearaidh agus Soláthair,
Cornhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

The Office of Public Works
Head Office
Jonathan Swift Street
Trim
Co Meath
C15 NX35

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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Senior Executive Engineer
Design & Delivery Services



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Limerick City
& County Council

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Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

**The Office of Public Works
Conservation Architect
National Monuments Section
52 St Stephens Green
Dublin 2**

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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Design & Delivery Services



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Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Customer Services
Clare County Council
Áras Contae an Chláir
New Road
Ennis
Co Clare

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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19th December 2019

Dear Sir/Madam,

An **Environmental Impact Assessment Report (EIAR)** and a **Natura Impact Statement (NIS)** have been prepared in respect of the proposed development. The application plans and particulars, the EIAR and NIS are attached in hardcopy.

Submissions or observations may be made in writing only to An Bord Pleanála ('the Board') 64 Marlborough Street, Dublin 1, D01 V902 in respect of:

- (i) The implications of the proposed development for proper planning and sustainable development in the area concerned, and
- (ii) The likely effects on the environment of the proposed development, if carried out, and
- (iii) The likely significant effects of the proposed development on a European site, if carried out.

Any submissions / observations must be received by the Board not later than 5.30 p.m. on **14th February 2020**. Such submissions or observations must include the following information:

1. The name of the person, authority or body making the submission or observation, the name of the person, if any, acting on behalf of that person, authority or body, and the address to which any correspondence relating to the application should be sent,
2. The subject matter of the submission or observation, and
3. The reasons, considerations and arguments on which the submission or observation is based in full.

Yours Sincerely,

Kieran O'Gorman - Senior Executive Engineer
Design & Delivery Services



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Seirbhísí Dearaidh agus Soláthair,
Cornhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Department of Housing, Planning and Local Government
Custom House
Dublin 1
D01 W6X0

EIRCODE V94 EH90

t: +353 (0) 61 557 180

Planning Referral

Section 226 of the Planning and Development Act 2000, as amended and the Planning and Development Regulations 2001, as amended

Limerick City & County Council proposes to seek approval from An Bord Pleanála for the following proposed development:

King's Island Flood Relief Scheme

19th December 2019

Dear Sir/Madam ,

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Kieran O'Gorman
Senior Executive Engineer
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& Contae **Luimnigh**

Limerick City
& County Council

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Comhairle Cathrach agus Contae Luimnigh,
Ceanncheathrú Chorpóraideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

Southern Regional Assembly
Assembly House
O'Connell Street
Waterford

EIRCODE V94 EH90

t: +353 (0) 61 557 180

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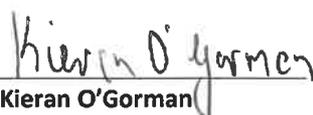
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3. The reasons, considerations and arguments on which the submission or observation is based in full.

Yours Sincerely,



Kieran O'Gorman
Senior Executive Engineer
Design & Delivery Services



Comhairle Cathrach
& Contae **Luimnigh**

Limerick City
& County Council

Seirbhísí Dearaidh agus Soláthair,
Comhairle Cathrach agus Contae Luimnigh,
Ceannteathrú Chorparáideach,
Cé na gCeannaithe,
Luimneach

Design and Delivery Services,
Limerick City and County Council,
Corporate Headquarters,
Merchants Quay,
Limerick

The Heritage Council
Áras na hOidhreachta
Church Lane
Kilkenny
R95 X26

EIRCODE V94 EH90

t: +353 (0) 61 557 180

Planning Referral

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19th December 2019

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3. The reasons, considerations and arguments on which the submission or observation is based in full.

Yours Sincerely,

Kieran O'Gorman
Senior Executive Engineer
Design & Delivery Services

Appendix D

EIA Portal Confirmation Notice

From: EIAportal <EIAportal@housing.gov.ie>
Sent: 19 December 2019 16:15
To: Bernadette OConnell <Bernadette.OConnell@jbaconsulting.ie>
Subject: Automatic reply: Kings Island, Limerick - EIA portal form

This email acknowledges receipt of your email.

* If your email is a notification to the EIA Portal, subject to checking of the information provided and once this has been completed you will receive a further Confirmation Notice email. We will contact you if clarification of the information provided, or any further information, is required. Please note that notification to the EIA Portal is not complete until we send you a Confirmation Notice email, advising that the notification has been uploaded to the EIA Portal with an associated Portal ID number.

* If your email is in relation to any other matter or query, a reply will issue in due course.

EIA Portal team

An Roinn Tithíochta, Pleanála agus Rialtais Áitiúil
Department of Housing, Planning and Local Government

Teach an Chustaim, Baile Átha Cliath 1, D01 W6X0
Custom House, Dublin 1, D01 W6X0

T +353 (0) 1 888 2000 DD +353 (0) 888 2873 / 2710

www.housing.gov.ie

Is faoi rún agus chun úsáide an té nó an aonán atá luaite leis, a sheoltar an ríomhphost seo agus aon comhad atá nasctha leis. Má bhfuair tú an ríomhphost seo trí earráid, déan teagmháil le bhainisteoir an chórais.

Deimhnítear leis an bhfo-nóta seo freisin go bhfuil an teachtaireacht ríomhphoist seo scuabtha le bogearraí frithviorais chun viorais ríomhaire a aimsiú.

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager.

This footnote also confirms that this email message has been swept by anti-virus software for the presence of computer viruses.

JBA Consulting, Unit 8, Greenogue Business Plaza, Greenogue Business Park, Rathcoole, Dublin, D24 CY64. Telephone: +353 1 685 5595

And visit our website www.jbaconsulting.ie for more information on what we can do for you.

The JBA Group supports the JBA Trust. [Follow us on Twitter @JBAConsulting](#) This email is covered by the [JBA Consulting_email disclaimer](#)
JBA Consulting Engineers and Scientists Limited is registered in Ireland, company number 444752, 24 Grove Island, Corbally, Limerick

Appendix E

Copy of letter of 25th June 2019
from LCCC to ABP

The Secretary,
An Bord Pleanála,
64 Marlborough Street,
Dublin 1.

25th June 2019

Dear Sir/Madam,

King's Island (Limerick) Flood Relief Scheme

Limerick City and County Council (LCCC), in conjunction with the Office of Public Works, are proposing a flood relief scheme for King's Island in Limerick City. Having undertaken an extensive evaluation of the flood risks, considered a number of alternative options and having consulted widely with the public and relevant stakeholders, LCCC now wishes to advance a preferred scheme through the necessary statutory consent processes.

Preliminary discussions with the Foreshore Section of the Department of Housing, Planning and Local Government, have indicated that the location of part of the proposed development, is on the foreshore. Having evaluated the proposed scheme in the context of the relevant legislation, for the reasons outlined in this letter, LCCC is of the opinion that the project consent application should be made to An Bord Pleanála under Sections 226 of the Planning and Development Act 2000 (as amended), where development is proposed to be carried out wholly or partly on the foreshore by a local authority that is a planning authority.

The following sets out the background to the project and LCCC's evaluation of the requirements for consent under the relevant legislation.

Background and Need for Scheme

King's Island lies in the heart of Limerick City and is surrounded by the River Shannon and the Abbey River. Both rivers are tidal at this location and the island is susceptible to both tidal and fluvial flood risk. There is a history of flooding in King's Island, the most recent events recorded in 1999, 2002, 2009 and 2014. Prolonged rainfall, spring tides and storm surges have been the source of severe flooding. King's Island and the surrounding area was badly flooded in early 2014, when there was an extremely high tide that overtopped the existing embankments around the Island and caused them to fail in one location.

Major improvements to the flood defences are required to try to prevent re-occurrences of such flood events. The overarching objective of the project is to *'to assess, develop and design an appropriate viable, cost-effective and sustainable flood relief scheme which aims to minimise risk to human beings, the existing community, social amenity, environment and landscape character.'*

The scheme is being developed primarily to protect the affected areas against fluvial and tidal

flooding. In addition, consideration has also been given to the potential impact of any flood relief scheme on groundwater and pluvial flood risk. This scheme has been designed to provide protection to properties in the study area from the 0.5% AEP tidal flood event.

King's Island is a valuable asset to the city due to its historical importance, its ecological and archaeological significance, and its tourism potential. The island also contains a residential and community area with a large housing estate (St. Mary's Park) to the north and various terraces of houses to the south. The landscape of the island is urban with a low-lying area of wetland (circa 15 hectares) edging the north eastern part of the island.

King's Island is situated between the River Shannon and the Abbey River. The Abbey River is a smaller watercourse that flows along the eastern and southern boundaries of the island before re-joining the Shannon adjacent to Merchant's Quay and the Courthouse.

The surrounding waterbodies and some eastern portions of the island are designated on ecological grounds as a Special Area of Conservation (SAC). The SAC applicable to King's Island is titled 'Lower River Shannon' (Site Code: 002165) and is of ecological interest as it contains habitats and species listed on Annexes I and II of the E.U. Habitats Directive.

King's Island has 28 structures listed for protection in the Record of Protected Structures (RPS). In addition, there are 10 structures currently recognised on the National Inventory of Architectural Heritage (NIAH) of Limerick City.

Proposed Development

The proposed development includes a series of flood defences positioned around King's Island comprising both new and upgraded floodwalls (incorporating glass panels in the urban areas) and embankments, plus associated townscape improvements. The northern part of the island is the more residential part of the island and currently has a level of flood protection primarily provided by embankments, although walls also contribute to the perimeter protection. One of the key constraints of this area is the Lower River Shannon Special Area of Conservation (SAC) and the proximity of its boundary relative to the proposed flood relief options. This southern part is the more commercial part of the study area. Where there is flood protection, it is in the form of quay walls. However, there is currently no defence provision around the Potato Market and civic buildings on Merchant's Quay. Further details of the proposed development can be found on the project website at <http://www.kingsislandfrs.ie/>

Classification of Development under Schedule 5 of the Planning and Development Regulations 2001 and requirement for an EIA.

Limerick City and County Council is of the opinion that the proposed development is of the class specified in Section 10 (f) (ii) of Part 2 of Schedule 5 of the Planning and Development Regulations 2001 (as amended) and that the proposed development exceeds the relevant quantity, area or other limit specified in that Part for the following reasons.

Section 10 (f) (ii) of Part 2 of Schedule 5 of the Planning and Development Regulations 2001 is development consisting of *'Canalisation and flood relief works, where the immediate contributing sub-catchment of the proposed works (i.e. the difference between the contributing catchments at the upper and lower extent of the works) would exceed 1,000 hectares or where more than 20 hectares of wetland would be affected or where the length of river channel on which works are proposed would be greater than 2 kilometres.'*

As the proposed Scheme is limited to works on King's island itself, the immediate contributing sub catchment area is significantly less than 1000 hectares and therefore does not exceed this threshold.

The proposed scheme may affect the wetland area (falling within the SAC designation). However, the area of this wetland is circa 15 hectares and therefore does not exceed the threshold.

However, the proposed Scheme will include the construction of circa 3.5km of flood defence walls and/or embankments, the majority of which will be constructed on or immediately adjoining the banks of the Shannon and/or Abbey Rivers. Whilst the majority of the defences will not require in-channel construction, it is considered that such works fall within the definition of '*river channel on which works are proposed*' and is '*greater than 2 kilometres*'.

Therefore, in accordance with Section 172 (1) of the Planning and Development Act 2000 (as amended), LCCC considers that an Environmental Impact Assessment is required to be undertaken.

Local Authority Development on Foreshore

The proposed Scheme is predominantly located inward of the foreshore line. However, a number of elements lie within the foreshore. These include some flood defences, new surface water outfalls and access arrangements for river users (including fishermen).

Accordingly, LCCC considers that it is required to apply to the Board for approval of the proposed development under Section 226(1) of the Planning and Development Act 2000 (as amended).

In accordance with Section 226(3), LCCC notes that the provisions in Section 175 apply to the proposed development, subject to the modifications outlined in Section 226. Specifically, LCCC understands that a separate application for approval under subsection (3) of Section 175 is not required.

LCCC considers that it is not required to seek the opinion of the Board, under Section 226(6)(a) for its determination on the question of whether the development would be likely to have significant effects on the environment, as in accordance with subsection 226(6)(b), the proposed development falls within a particular class of development identified for the purposes of Section 176, i.e. flood relief works under Section 10 (f) (ii) of Part 2 of Schedule 5 of the Planning and Development Regulations 2001 (as amended).

In accordance with Subsection (9)(a), Section 226 is deemed to apply as the proposed development is development '*that, if carried out wholly within the functional area of a local authority that is a planning authority, would be subject to the provisions of section 175*'.

Appropriate Assessment of certain development carried out by or on behalf of local authorities.

Given the presence of surface water, groundwater and land and air pathways and the potential impacts posed by the proposed Scheme on the Lower River Shannon SAC and River Shannon and River Fergus Estuaries SPA, it is concluded by our consultants that it is not possible to rule out (screen out) likely significant impacts on these Natura 2000 sites. Therefore, it is proposed that the King's Island FRS should be brought forward to the second stage of the Appropriate Assessment process, i.e. the preparation of a NIS.

Accordingly, under Section 177AE (3), LCCC considers that it is required to apply to the Board for approval and that the provisions of Part XAB shall apply to the carrying out of the appropriate assessment.

In accordance with subsection 177AE (16), LCCC notes that *'Where a proposed development to which this section applies is also required to be submitted to the Board under section 226, it shall be sufficient for the applicant to make one application to the Board provided that the applicant complies with this section and section 226 and in such a case the Board shall issue one decision in relation to the application under this section and section 226'*

Definition of the Scheme as 'strategic infrastructure development'

LCCC notes that Section 2 of the Planning and Development Act 2000 (as amended) defines 'strategic infrastructure development' as including *'any proposed development by a local authority referred to in section 175(1) or 226(6)'*.

Applicable Fee

We understand that the applicable fee for an Application by a local authority under Section 226 of the Planning and Development Act 2000 (as amended) is €30,000.

No facility for Pre-application consultation

We understand that there is no facility for pre-application consultation for development applications by a local authority under Section 226.

Conclusion and Next Steps

The Scheme documentation is currently being prepared. An EIAR Scoping pack has been issued to statutory consultees with responses now received and collated. We are currently considering same in the finalisation of the documentation including EIAR and NIS.

It is anticipated that LCCC will lodge an application to An Bord Pleanála in Q3 2019.

LCCC is writing to provide advance notice of the intention to make the aforementioned application and to provide the Board the opportunity to provide any direction if it considers that the process set out above is incorrect.

We would be happy to accommodate and clarify any queries you may have, in which case you are invited to contact the undersigned.

In the absence of any response, we will assume the approach outlined above to be appropriate and intend to lodge on that basis, unless directed otherwise.

Yours faithfully,

Joe Delaney
Acting Director, Capital Investment Directorate

Appendix F

Letters of Support from Relevant Stakeholders



To whom it may concern,

King's Island Flood Relief Scheme
Letter of support to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

Shannon Heritage is the operator of King John's Castle and advises that there is an emergency exit at Castle Lane which exits directly onto proposed site of works named above. Shannon Heritage has been in discussion with Limerick City and County Council and has agreed with the Council that this emergency exit will be maintained at all times during the construction of the Flood Defence Scheme. Shannon Heritage very much welcomes the King's island Flood Protection Scheme as a key project for the protection of residential and business community in the immediate area.

Shannon Heritage supports the King's Island Flood Relief Scheme planning application to An Bord Pleanála.

Name Niall O'Callaghan
Position Managing Director

Signature
Date

Niall O'Callaghan

23/10/2019



An tSeirbhís Chúirteanna
COURTS SERVICE

To whom it may concern

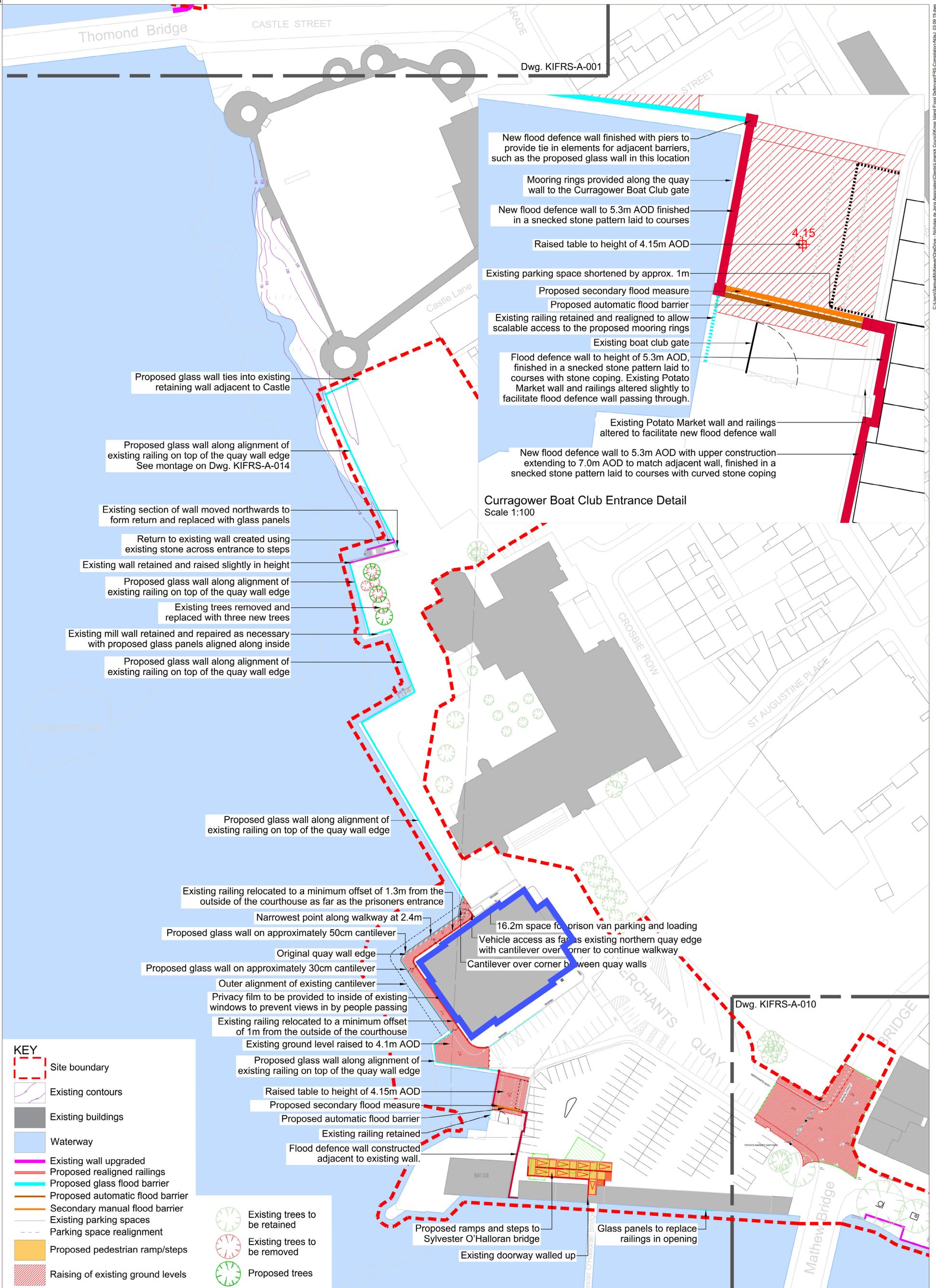
King's Island Flood Relief Scheme
Letter of Consent and Support to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

The Courts Service occupies the Courthouse at Merchant's Quay, outlined in blue on the attached drawing and the area between the Courthouse and the railings around the Courthouse. The Courts Service has been in discussions with Limerick City and County Council over the optimum design of flood protection measures around the Courthouse. The Courts Service is in agreement with the proposed layout, which includes vehicular access for prison van to north side of Courthouse, repositioning of railings along the north and west sides of the Courthouse and the decommissioning of foul sewer pumping station to a new gravity sewer.

The Courts Service has in the past been impacted by flooding in this area and would support any measures to mitigate/eradicate the possibility of flooding in this area in the future.

Name	Eamonn Kiely
Position	Regional Manager
Signature	
Date	18 th of November 2019



- New flood defence wall finished with piers to provide tie in elements for adjacent barriers, such as the proposed glass wall in this location
- Mooring rings provided along the quay wall to the Curragower Boat Club gate
- New flood defence wall to 5.3m AOD finished in a sneaked stone pattern laid to courses
- Raised table to height of 4.15m AOD
- Existing parking space shortened by approx. 1m
- Proposed secondary flood measure
- Proposed automatic flood barrier
- Existing railing retained and realigned to allow scalable access to the proposed mooring rings
- Existing boat club gate
- Flood defence wall to height of 5.3m AOD, finished in a sneaked stone pattern laid to courses with stone coping. Existing Potato Market wall and railings altered slightly to facilitate flood defence wall passing through.
- Existing Potato Market wall and railings altered to facilitate new flood defence wall
- New flood defence wall to 5.3m AOD with upper construction extending to 7.0m AOD to match adjacent wall, finished in a sneaked stone pattern laid to courses with curved stone coping

Curragower Boat Club Entrance Detail
Scale 1:100

- Proposed glass wall ties into existing retaining wall adjacent to Castle
- Proposed glass wall along alignment of existing railing on top of the quay wall edge See montage on Dwg. KIFRS-A-014
- Existing section of wall moved northwards to form return and replaced with glass panels
- Return to existing wall created using existing stone across entrance to steps
- Existing wall retained and raised slightly in height
- Proposed glass wall along alignment of existing railing on top of the quay wall edge
- Existing trees removed and replaced with three new trees
- Existing mill wall retained and repaired as necessary with proposed glass panels aligned along inside
- Proposed glass wall along alignment of existing railing on top of the quay wall edge

- Proposed glass wall along alignment of existing railing on top of the quay wall edge
- Existing railing relocated to a minimum offset of 1.3m from the outside of the courthouse as far as the prisoners entrance
- Narrowest point along walkway at 2.4m
- Proposed glass wall on approximately 50cm cantilever
- Original quay wall edge
- Proposed glass wall on approximately 30cm cantilever
- Outer alignment of existing cantilever
- Privacy film to be provided to inside of existing windows to prevent views in by people passing
- Existing railing relocated to a minimum offset of 1m from the outside of the courthouse
- Existing ground level raised to 4.1m AOD
- Proposed glass wall along alignment of existing railing on top of the quay wall edge
- Raised table to height of 4.15m AOD
- Proposed secondary flood measure
- Proposed automatic flood barrier
- Existing railing retained
- Flood defence wall constructed adjacent to existing wall.

KEY

- Site boundary
- Existing contours
- Existing buildings
- Waterway
- Existing wall upgraded
- Proposed realigned railings
- Proposed glass flood barrier
- Proposed automatic flood barrier
- Secondary manual flood barrier
- Existing parking spaces
- Parking space realignment
- Proposed pedestrian ramp/steps
- Raising of existing ground levels
- Existing trees to be retained
- Existing trees to be removed
- Proposed trees



Kings Island Developments Ltd
1 Northbrook Road, Ranelagh,
Dublin 6.

Telephone: 4962955

E-mail: info@oraltd.com

To whom it may concern

King's Island Flood Relief Scheme
Letter of consent to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

Kings Island Development Ltd, 1 Northbrook, Ranelagh, Dublin 6 is the owner of the site opposite the Absolute Hotel on Sir Harry's Mall and lands at Grove Island, as shown outlined in blue on the attached drawing. The company has been in discussions with Limerick City and County Council over the optimum design of the King's Island flood defence scheme as it impacts the Absolute Hotel. Kings Island Development Ltd hereby consents to:-

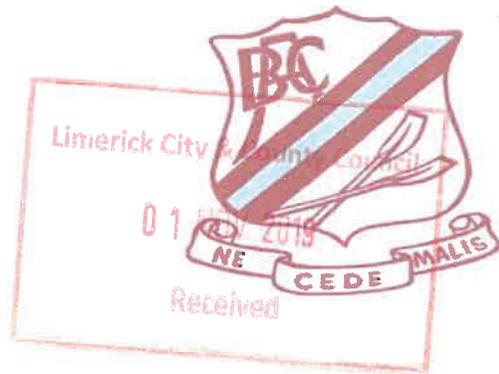
- (i) provision of access to lands at Grove Island to facilitate launching of barge and piling rig into Abbey River
- (ii) provision of portion of lands at the corner of Sir Harry's Mall opposite Absolute Hotel, to provide for setting back of footpath and carriageway, to facilitate provision of bus parking and traffic turning movements at the corner

These works has been agreed between Kings Island Development Ltd and Limerick City and County Council as the optimum design solution.

Kings Island Development Ltd consents to Limerick City and County Council lodging planning application to An Bord Pleanála on these lands.

Name	Jerry O'Reilly
Position	Company Director
Signature	
Date	<u>23 / 10 / 2019</u>

Athlunkard Boat Club



King's Island Flood Relief Scheme
Letter of consent to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

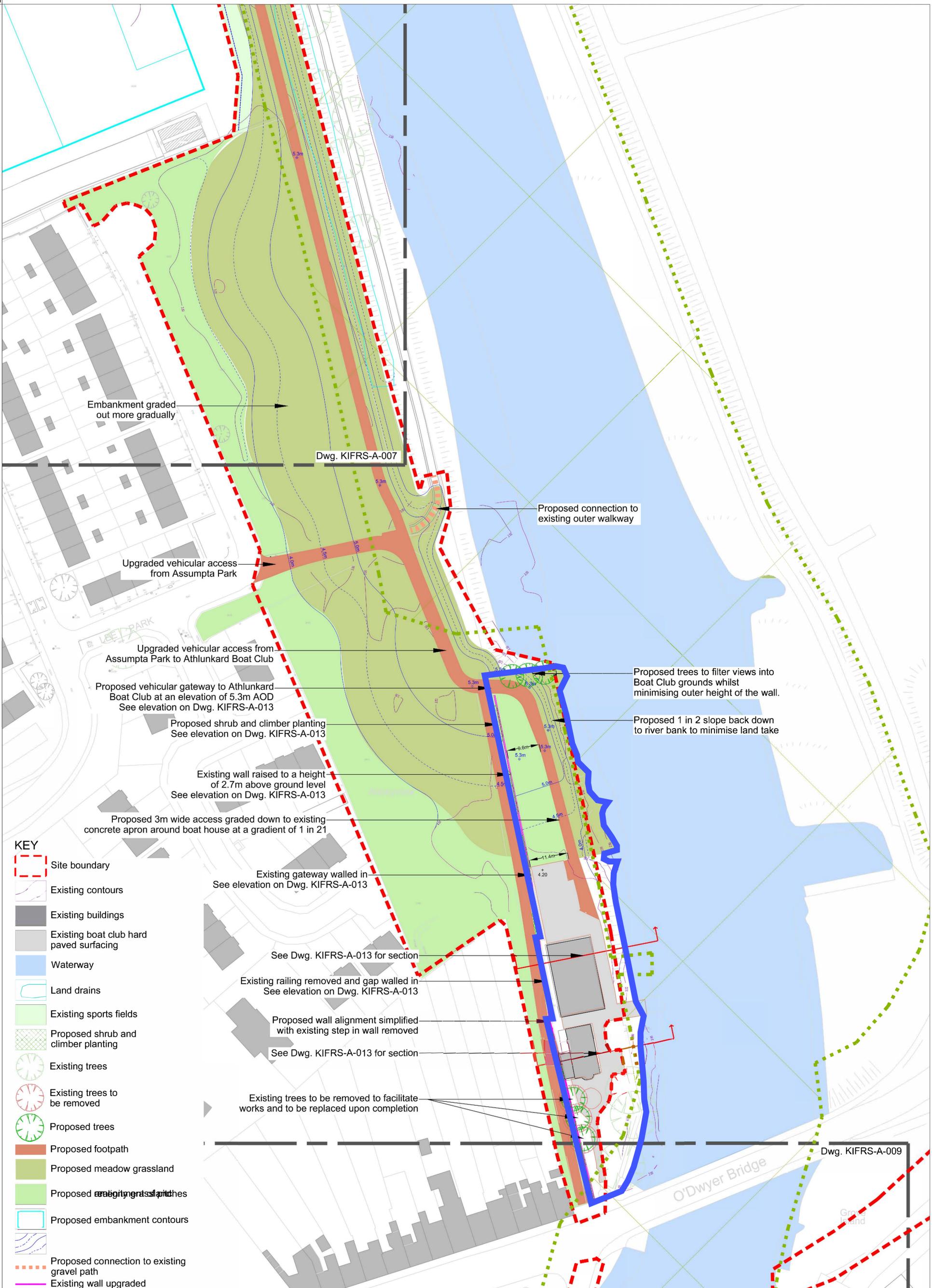
Athlunkard Boat Club is the owner of lands at Athlunkard Street, Limerick as shown outlined in blue on the attached drawing. Athlunkard Boat Club has been in discussions with Limerick City and County Council over the optimum design of the King's Island flood defence scheme. These works include the construction of a flood defence wall/boundary wall along the west side of the site, relocation of vehicular entrance and provision of new gates, construction of internal access road and yard, provision of new foul sewer connection, refurbishment of meeting room in clubhouse and individual property protection to both buildings. These works are agreed between Athlunkard Boat Club and Limerick City and County Council as the optimum design solution.

Athlunkard Boat Club consents to Limerick City and County Council lodging planning application to An Bord Pleanála on Athlunkard Boat Club lands.

Name
Position
Signature
Date

Print Name **MIKE KIELY**
Print Title **HON SECRETARY**
Mike Kiely
29/10/2019





Embankment graded out more gradually

Dwg. KIFRS-A-007

Proposed connection to existing outer walkway

Upgraded vehicular access from Assumpta Park

Upgraded vehicular access from Assumpta Park to Athlunkard Boat Club

Proposed vehicular gateway to Athlunkard Boat Club at an elevation of 5.3m AOD See elevation on Dwg. KIFRS-A-013

Proposed shrub and climber planting See elevation on Dwg. KIFRS-A-013

Existing wall raised to a height of 2.7m above ground level See elevation on Dwg. KIFRS-A-013

Proposed 3m wide access graded down to existing concrete apron around boat house at a gradient of 1 in 21

Proposed trees to filter views into Boat Club grounds whilst minimising outer height of the wall.

Proposed 1 in 2 slope back down to river bank to minimise land take

Existing gateway walled in See elevation on Dwg. KIFRS-A-013

See Dwg. KIFRS-A-013 for section

Existing railing removed and gap walled in See elevation on Dwg. KIFRS-A-013

Proposed wall alignment simplified with existing step in wall removed

See Dwg. KIFRS-A-013 for section

Existing trees to be removed to facilitate works and to be replaced upon completion

Dwg. KIFRS-A-009

KEY

- Site boundary
- Existing contours
- Existing buildings
- Existing boat club hard paved surfacing
- Waterway
- Land drains
- Existing sports fields
- Proposed shrub and climber planting
- Existing trees
- Existing trees to be removed
- Proposed trees
- Proposed footpath
- Proposed meadow grassland
- Proposed meadow grassland with paths
- Proposed embankment contours
- Proposed connection to existing gravel path
- Existing wall upgraded

JBA
consulting

Nicholas de Jong Associates
URBAN DESIGN

F	08.10.19	SMCK	SMCK	SMCK
E	01.10.19	SMCK	SMCK	SMCK
D	23.08.19	SMCK	SMCK	SMCK
C	28.06.19	SMCK	SMCK	SMCK
B	12.06.19	SMCK	SMCK	SMCK
A	19.04.19	SMCK	SMCK	SMCK
-	08.03.19	SMCK	SMCK	SMCK
Issue	Date	By	Chkd	Appd

Client
Limerick City & County Council
Comhairle Cathrach & Contae Luimnigh
Limerick City & County Council

Job Title
KING'S ISLAND
FLOOD RELIEF SCHEME

Scale at A1
1:500

Discipline

ARUP

Arup, 50 Ringsend Road
Dublin, D04 T6X0
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Drawing Title
KIFRS Proposals Layout
Sheet 7 of 10
Areas A4 & A5

Job No
KIFRS

Drawing Status
DRAFT

Drawing No
KIFRS-A-008

Issue
F

To whom it may concern

King's Island Flood Relief Scheme
Letter of consent to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

Athlunkard Football Club is a leaseholder of lands from Limerick City and County Council and operates a football pitch in St. Mary's Park, as shown outlined in blue on the attached drawing. Athlunkard Football Club has been in discussion with Limerick City and County Council over the optimum design of the flood embankment as it affects the playing pitch. The proposed embankment design and layout is agreed between Athlunkard Football Club and Limerick City and County Council as the optimum solution.

Athlunkard Football Club consents to Limerick City and County Council lodging a planning application to An Bord Pleanála on these lands.

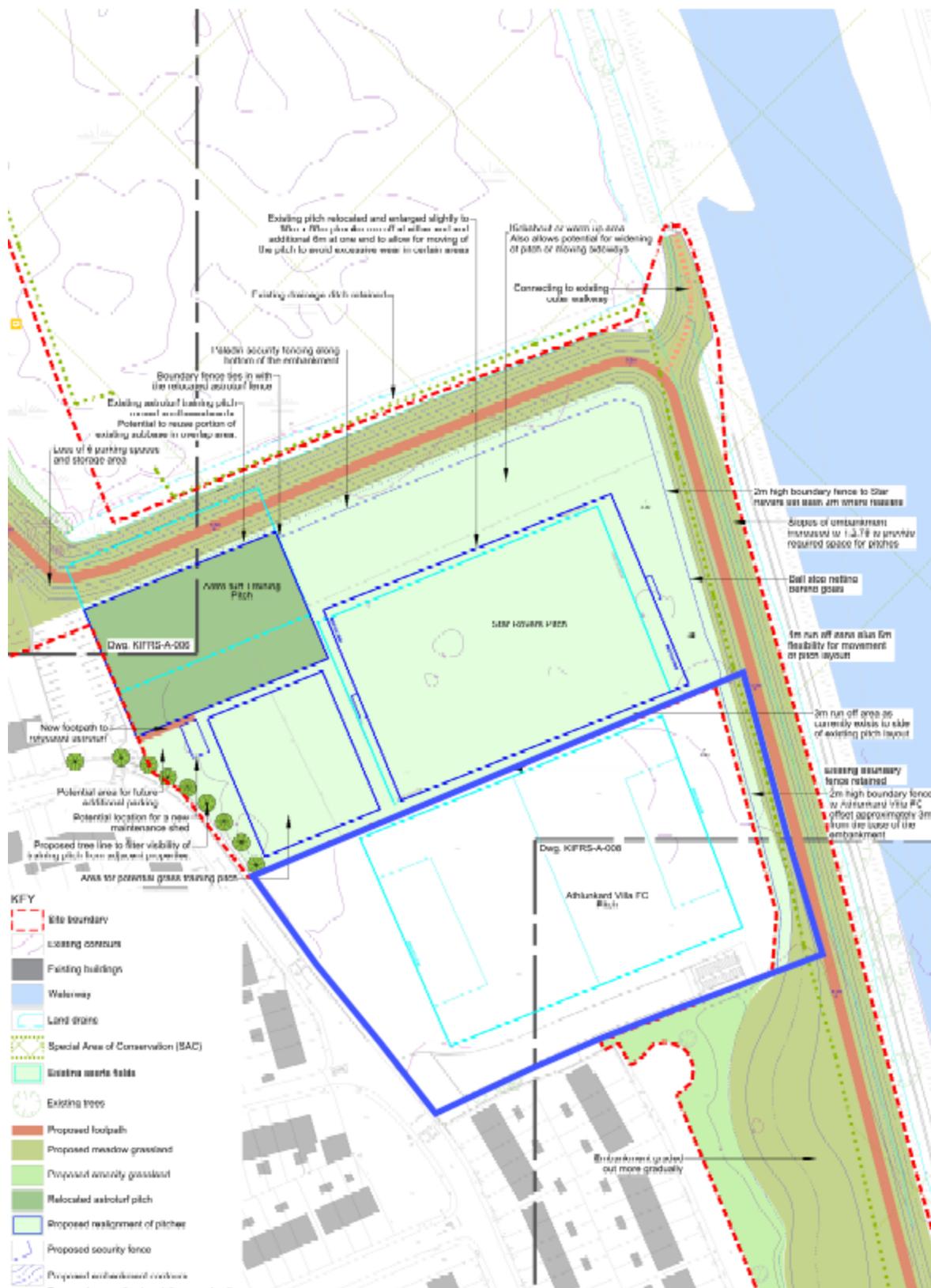
Print Name: Dr. James Ring

Position: Athlunkard Vice Chairman



Signature:

Date: 9th November 2019





STAR ROVERS AFC

King's Island Flood Relief Scheme

Letter of consent to lodge planning application with An Bord Pleanála

Dear Sir/Madam,

Star Rovers Football Club is a leaseholder of lands from Limerick City and County Council at St. Mary's Park, as shown outlined in blue on the attached drawing. Star Rovers Football Club has been in discussions with Limerick City and County Council over the optimum design of the flood defence scheme as it affects the astro turf and grass playing pitches. The proposed embankment design, layout and reorganisation of the pitches is agreed between Star Rovers and Limerick City and County Council as the optimum solution.

Star Rovers Football Club consents to Limerick City and County Council lodging a planning application to An Bord Pleanála on these lands.

Name

MARTIN O'BRIEN

Position

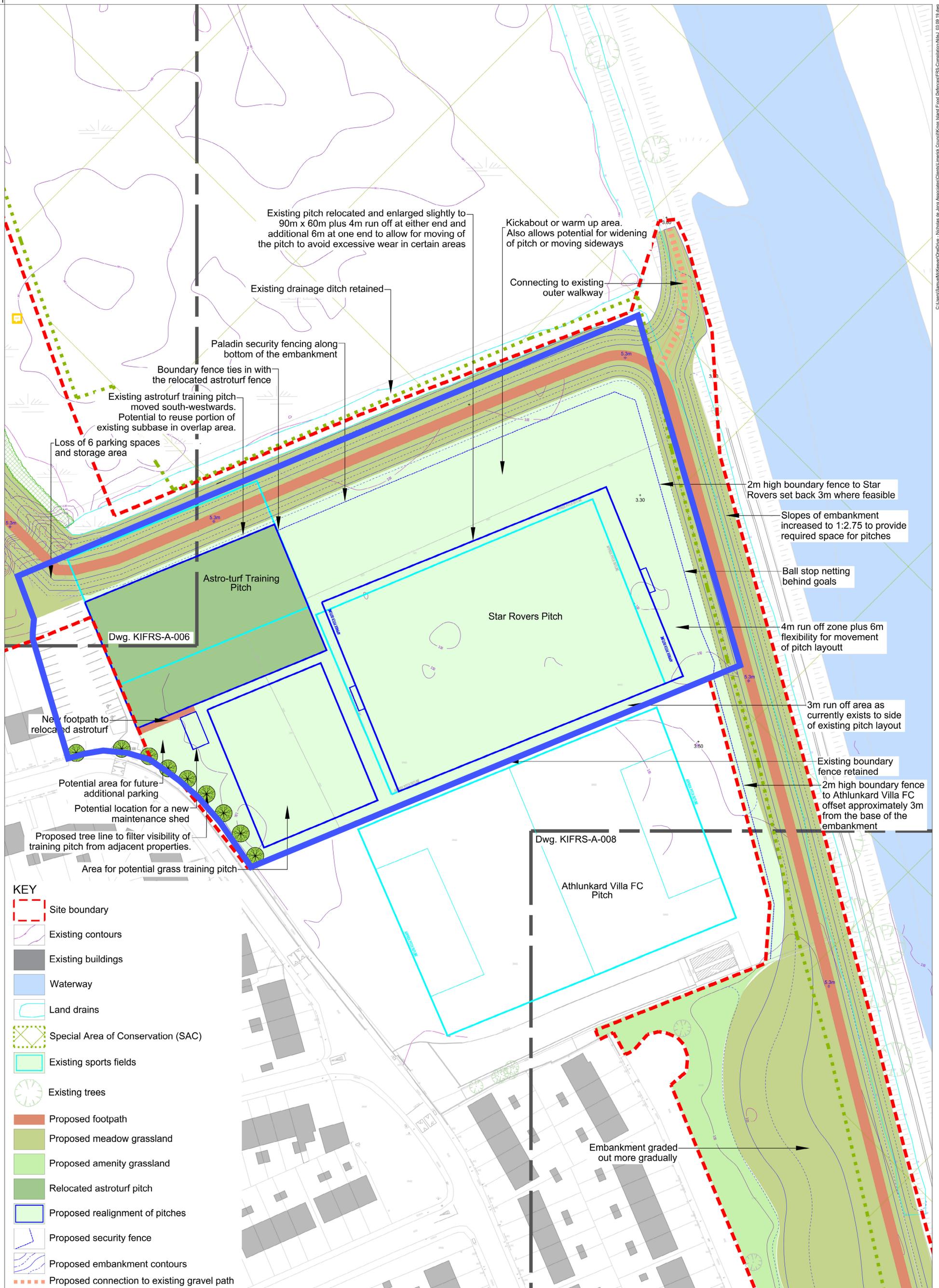
CHAIRMAN

Signature

Martin O'Brien

Date

19. 11. 19



- KEY**
- Site boundary
 - Existing contours
 - Existing buildings
 - Waterway
 - Land drains
 - Special Area of Conservation (SAC)
 - Existing sports fields
 - Existing trees
 - Proposed footpath
 - Proposed meadow grassland
 - Proposed amenity grassland
 - Relocated astroturf pitch
 - Proposed realignment of pitches
 - Proposed security fence
 - Proposed embankment contours
 - Proposed connection to existing gravel path

JBA consulting

Nicholas de Jong Associates
URBAN DESIGN

Issue	Date	By	Chkd	Apptd
E	08.10.19	SMcK	SMcK	SMcK
D	23.06.19	SMcK	SMcK	SMcK
C	12.06.19	SMcK	SMcK	SMcK
B	02.05.19	SMcK	SMcK	SMcK
A	18.04.19	SMcK	SMcK	SMcK
-	08.03.19	SMcK	SMcK	SMcK

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Drawing Title
KIFRS Proposals Layout
Sheet 6 of 10
Area A5

Job No
KIFRS

Drawing Status
DRAFT

Drawing No
KIFRS-A-007

Issue
E

Appendix G

Emerging Preferred Option
Public Information Day

G1 Additional PID information

The Public Information Day (PID) was held on 20 December 2017, as a twin venue event and was held in the following venues:

- 11am – 3pm: – City Hall, Merchant's Quay, Limerick;
- 5pm – 8pm: – King's Island Community Centre, Limerick.

The principal aims of the PID was (i) to present the emerging preferred option to attendees; and (ii) to listen to the views of those living and working in the vicinity of the scheme. The reasons behind the choice of options and alternatives considered were discussed with attendees. Constraints related to both the preferred and alternative options were presented. The timeline for the project was also presented.

The target audience for the PID was all interested parties, including local politicians and the main focus of the PID was the Island residents and business owners. This included those whose properties both have and have not flooded. Furthermore, the views of non-residents were sought due to the proximity of Verdant Place to King John's Castle, a key landmark and tourist attraction of Limerick City.

The format of the PID event was as follows:

- Drop-in type format;
- Information stands and posters around the room;
- Registration of all who attended;
- One-to-one or small group discussions;
- Notes taken to record conversations and observations;
- Questionnaires also available for completion on site, or later return.

G1.1 Stakeholder Advisory Group (SAG)

The PID followed a meeting of the SAG on 15 December 2017, to which local County Councillors and other stakeholders had been invited. The emerging preferred option was presented to the SAG. A number of comments were received from the SAG and they requested this be made known to the attendees at the PID. Accordingly, a poster with the following points was prepared and displayed at the PID:

- Outer walkway to be retained and the use of the inner embankment will be reviewed with a view to including walkway, or for flood defence only;
- Confirmed that access for fishing and boats is being provided;
- A continuous walk (Slí Na Sláinte) around the island which may need traffic management at Sir Harry's Mall;

- If the pitch at Star Rovers is to be relocated, works to be timed for the off-season and improvement to surface provided;
- Resident and user safety around embankments and walls remains paramount, including provision of additional CCTV and lighting. Screening to be carefully planned.

G1.2 Promotion Strategies for the Public Information Day

A variety of means of promoting/advertising the workshop were used to increase awareness of the day and aim to maximise attendance, as shown in Table 6 below.

Table 6: PID Event Promotion Strategies

Promotion means	Comment
Publicity through SAG	A Stakeholder Advisory Group (SAG) meeting was held in prior to the PID. Local Councillors and members of residents' associations are represented on the SAG and were encouraged to promote the event.
Social Media	The event was publicised through the Facebook page and on the website. Through the Twitter feed a number of local councillors and other organisations also promoted the workshop. Limerick City and Council publicised the event on their website and Twitter.
Press release	A press release was issued to the following outlets and individuals: <ul style="list-style-type: none"> • Limerick's Live95fm • Limerick Leader • Limerick Post • Limerick Life • RTE • TV3 • Avondhu Press (Weekly and Vale Observer) • Limerick Voice • Spin South West • West Limerick 102fm • East Limerick Community Radio • Wired FM • Irish Examiner • Freelance Journalist who writes for Irish Independent, Irish Times, Irish Sun, Irish Star, Irish Mirror, Daily Mail, The Times Ireland • Limerick Public Participation Network • Various photographers • I Love Limerick • All Staff in the Council • All Councillors

Promotion means	Comment
	<ul style="list-style-type: none"> Oireachtas Members
Posters	<p>A4 posters were distributed to businesses, as shown in the list below (also additional business based on suitability when walking the site).</p> <p>King's Island</p> <ul style="list-style-type: none"> The St. Mary's Credit Union The butchers opposite the credit union MACE shop on Nicholas Street Chip shop on Nicholas Street St Mary's community centre Crèche next to the community centre. The post office King's Island Primary Care Centre <p>George's Quay</p> <ul style="list-style-type: none"> Absolute Hotel Gael Coláiste Barrington's Hospital Locke Bar <p>Charlotte's Quay</p> <ul style="list-style-type: none"> Library Chemist on Charlotte's Quay <p>Corbally</p> <ul style="list-style-type: none"> Corbally Road filling stations – Topaz Supervalu <p>O'Callaghan's Strand</p> <ul style="list-style-type: none"> Curragower Pub JJ Bowles Pub <p>Merchant's Quay</p> <ul style="list-style-type: none"> City Hall Potato Market Curragower Boat Club
Leaflet drop	<p>Up to 700 invitation leaflets were distributed to individual residences and business on King's Island. These were printed by JBA, but distributed by staff of St. Mary's Aid, for which their assistance is appreciated.</p> <p>It emerged on the day that additional leaflets were also distributed by members of the Labour and Sinn Fein parties.</p>
Word of mouth	<p>Prior to the event community representatives spread details of the event and invited attendees.</p>
Email	<p>An email was sent to those who had provided a contact at previous consultation events.</p>

G1.3 Description of PID Event

Five members of the project team were present at each venue. Representation included project director, two project managers, environmental lead and project engineer.

The St Mary's Aid Estates Manager was also present at the community centre to welcome attendees, assist with signing in and to provide introductions to the project team.

In addition to a sign-in sheet, the following materials were available on the day:

- Copy of the newsletter and questionnaire - handed to each attendee on arrival
- JBA modelled tidal flood extent map for the Island
- Series of posters which covered the following topics:
 - Introduction to the project, including background, programme, statutory stages and opportunities for further involvement
 - Background to the ecological, archaeological and heritage challenges specific to the scheme, including details of the Appropriate Assessment process
 - Outline of the emerging preferred option, including overview of the cost benefit ratio
 - An overview, by area, of the emerging preferred option. The areas presented were: Verdant Place, St. Mary's Park (north of the Island), Sir Harry's Mall,
 - George's Quay and City Hall, Court House and surrounding area.
 - Copies of the posters were subsequently uploaded to the website and are provided in Appendix C.
- A video fly-through of the emerging preferred scheme, running on a loop on a 65" monitor.
- Project team briefing pack, including prompts on the flood history and elements of the scheme, key messages and FAQs
- Notes pages for the project team to complete during or immediately after conversations with attendees.

Attendance was split between the two venues, with 52 signing in at the community centre, 33 at Merchant's Quay and four councillors who attended both venues. There was good representation of all community groups and King's Island residents at the community centre. A small number of people attended from Corbally, Meelick and Limerick City. 37 people signed in with no address; a review of names and email addresses indicates that a number of these were from local businesses, were council staff or councillors.

G1.4 Feedback Received

The feedback from the project team following the event was largely positive, with the majority of attendees pleased that the scheme was being progressed, and an overwhelming feeling of relief that the fear associated with high tides would recede. However, many of the attendees also had comments or requested clarification on specific elements of the project. Some of these points related to detailed design elements and items such as contractors haul roads and working hours, whilst others pertained to more fundamental aspects, such as the route and form of the embankment around sections of the island.

As is the nature of feedback in written form, attendees and note-takers focused primarily on the areas requiring clarification or where an alternative design was requested, and less on the positive aspects of the scheme. It is for this reason that the following sections of the report focus on comments that may appear critical of the scheme, although the reception of the scheme was largely positive.

33 questionnaires were returned. A summary of responses received is provided in the following sections.

G1.4.1 Question 1

We have shown you the emerging preferred option for providing flood relief to King's Island. Please use the boxes below to indicate your opinion on the various elements of the option.

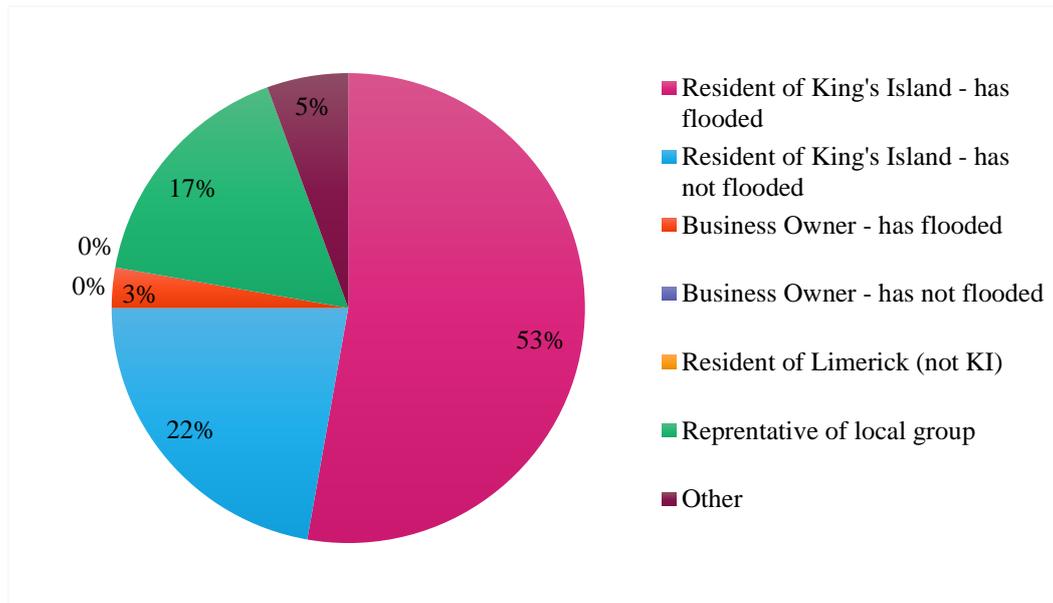
Table 7: Elements of the option

Element of Emerging Preferred Option	Against	Neither against or support	Support	Unsure	Please give an explanation for your answer (the list below is a synopsis of answers provided)
Wall behind crèche and north-west embankment from Verdant Place to the handball alley (Area A2 and A3)	14		13	1	<p>Support</p> <p>Provides protection from flooding Boat slip to be put in place Walk to be retained and like the improvements. Suggested it will be windy on top so small parapet wall proposed</p> <p>Against</p> <p>Why not build on old wall around the bank? Too near to houses and will result in loss of privacy and increase antisocial behaviour It is a historical place of note, built in the 1840s</p>

Element of Emerging Preferred Option	Against	Neither against or support	Support	Unsure	Please give an explanation for your answer (the list below is a synopsis of answers provided)
					Too much land take and loss of green area
Embankment around St. Mary's Park and the SAC – Inner alignment with outer walkway (Area A4)	13		9	7	<p>Support</p> <p>Walk to be retained and like the improvements.</p> <p>Would rather look at bank than the current boarded up houses</p> <p>Provides flood protection</p> <p>Against</p> <p>Too near to houses and will result in loss of privacy and increase antisocial behaviour</p> <p>Unsure</p> <p>Back bank lost</p> <p>Inner embankment needed, but outer embankment suits a riverside walk</p> <p>Impact of antisocial behaviour balanced against flood protection / SAC</p>
Embankments from Star Rovers and Assumpta Park to Athlunkard Boat Club and walls behind the Boat Club (Area A5 and A6)	15		15		<p>Support</p> <p>Provided pitches are undisturbed</p> <p>Will prevent flooding</p> <p>Against</p> <p>Interference with Star Rovers pitches</p> <p>Perceived increase in flood risk to Corbally</p> <p>Want to see a return to the previous situation</p> <p>Loss of privacy and increase antisocial behaviour</p>
Combination of wall raising and replacement from Sir Harry's Mall, along George's Quay, around Merchant's Quay and to King John's Castle (Areas A7 to A10 and B1 to B3)	3	1	18	1	<p>Support</p> <p>Prevents flooding</p> <p>Against</p> <p>Will block view of river</p>

G1.4.2 Question 2

Figure 13: Graph showing responses to Question 2



As can be seen in the graph above, 75% of the respondents were resident of King's Island, with over 50% having experienced flooding. Only 3% of attendees were business owners, and none of them reported having been flooded. No-one living outside King's Island completed a questionnaire. The groups represented included residents' committees, over 55s club and Star Rovers.

G1.4.3 Question 3

- This was a free text space, and the following responses were received (reproduced verbatim):
- The emerging/preferred option is unambitious - probably so that it can be done cheaply. An integrated flood defence and public amenity.
- Raised limestone walls must retain original carved capping. No sign of access to limestone steps adjacent to Matthew Bridge in design, access must be retained. Clear gap in defences at site of Curragower boat club. LC+CC plan to knock Potato Market, this has not been accounted for. Clear gap in design at NW and SW towers of King Johns Castle (SMR).
- Devastated at time of flood, only for friends and neighbours lost a lot. Still to this day Winter checking tides, fill a suitcase and send it to my daughters to service us at least we would have clothes. Don't feel preferred option has people in St. Mary's Park included and thought given them, also trees on bank being cut as is.
- The sooner it would be done the better.
- In 2014 my home was destroyed and I cannot get insurance because I cannot afford it.
- My Sister's on Oliver Plunkett St. were flooded and left with nothing.

- I feel vulnerable living in the community, knowing there's a high risk of flooding and possible damage to my house.
- It was a devastating experience for me but if we can learn from it and not make the same mistakes and determine to cause.
- My family and friends were left with no homes because of flooding.
- It took its toll on my house but only day by day we are getting back to what we worked for and can't even get insurance and now ye want to wreck all this of us again. It isn't on, no way.
- Flooded when the canal gates were not opened in 2015. When the Shannon floods water comes to within 5m of my property. Not carrying out any works on the bank opposite the Athunkard boat club will cause significant flooding in College + Richmond Park.
- Corbally: Cooneys Garage forecourt needs protection.
- The Shannon will always flood, I agree with the proposed flood defences as a mitigating process - SAC and cultural + archeological medieval town must be retained and access to river must be allowed for.
- Old resident of Oliver Plunkett St. Nothing been done since flood.
- We weren't flooded in the house but were blocked in for a couple of days. Walked up through flood in waders to get to the shops.
- I was one of the houses that was flooded and up to now every time there is a high tide my kids are scared of their lives, today we are still very traumatised.
- My house in Assumpta Park was flooded, I got no compensation and my insurance went up.
- My house was wrecked and no one cared. Claimed from my insurance and now it's going up every year. And everytime there is a weather warning we cant sleep, it's a horrible way to live. House insurance with no storm or flood cover.
- Feeling of isolation when flooded. City council very slow to react.
- Old resident of Oliver Plunkett St. Nothing been done since flood.

G1.4.4 Question 4

Please indicate how frequently you access the island for the following

Table 8: Responses to Question 4

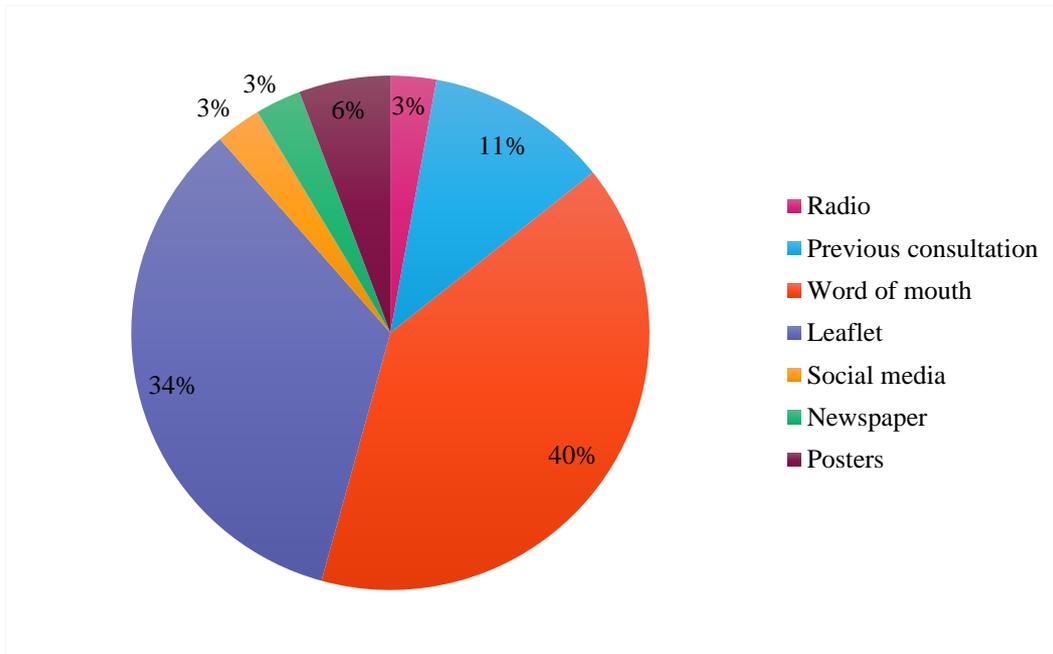
Activity	Daily	Weekly	Monthly	Annually	Never	Other
Walking	21	5		1		
Running						
Swimming				2		
Fishing		3				
Boating		1	1	1		

Activity	Daily	Weekly	Monthly	Annually	Never	Other
Other (please specify)	3 (non-specified)	1 -Football	1 - Community activities	1 - Riverpath volunteer		

G1.4.5 Question 5

How did you hear about today?

Figure 14: Graph showing responses to Question 5



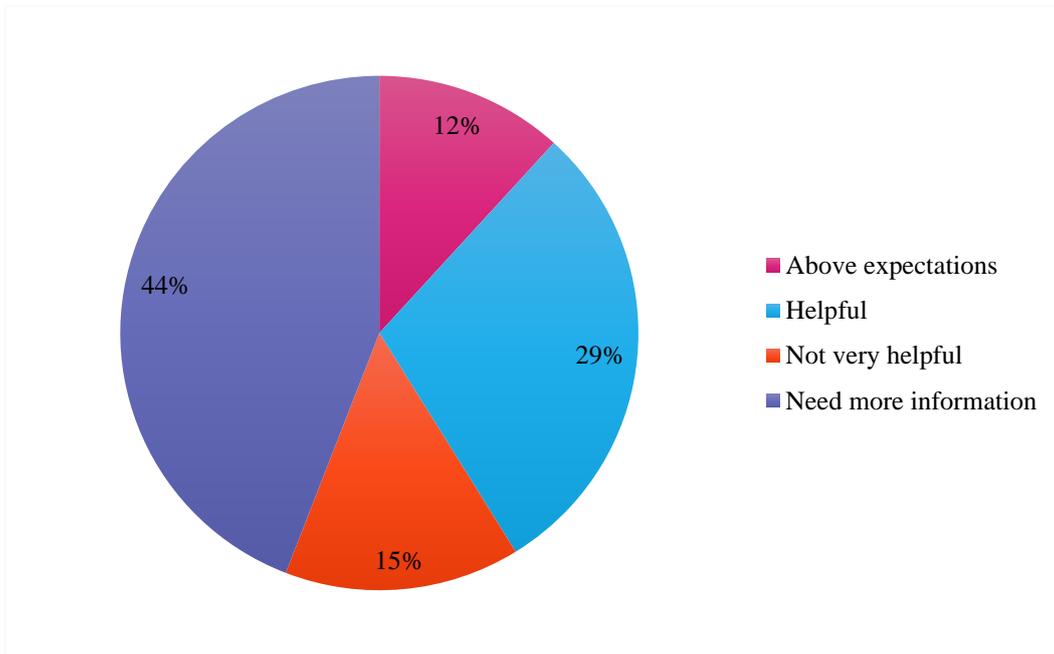
It should be noted that some respondents indicated more than one source of information. Most of the respondents learned about the event through word of mouth and/or leaflets through the door. A small number were made aware through other sources, such as newspapers, radio and social media. However, these communication means are still valid as the respondents represent only a small proportion of the attendees.

G1.4.6 Question 6

How useful have you found this event in understanding the project and how you can feed into the process?

41% of respondents found the event useful, while 44% reported that they needed more information. In discussion with some of the residents at the Community Centre it was apparent that they had specific questions in relation to construction techniques, visual impacts and project timescales which were unanswered and which needed to be resolved before they could buy-into the scheme. This is reflected in the number of 'against' responses in question 1. Some of the respondents clarified that with more information they would probably support the scheme but based on what they knew currently they were against.

Figure 15: Graph showing responses to Question 6



G1.5 Project team notes

In addition to the questionnaires, members of the project team took notes of conversations with attendees on the day. These notes have been summarised by area in the following sections.

G1.5.1 A1 - Verdant Place Advanced Works

Access ladder at pump kiosk requested.

It was also questioned why a raised footpath is proposed at Harry's Mall, but was not included in Verdant Place.

G1.5.2 Area A2 and A3 - Wall behind crèche and north-west embankment from Verdant Place to the handball alley

As reflected in the questionnaires, concern was raised about the proximity of the embankment to the houses on Oliver Plunkett Street, particularly in relation to anti-social behaviour, loss of privacy and loss of green space for children to play in. On the other hand, these same residents were some of the first on the island to flood in 2014 so fully recognise that something needed to be done.

One attendee commented that boating remained a popular activity, with boats being moored to the north-west of the island. Facilitating access is important.

G1.5.3 Area A4 - Embankment around St. Mary's Park and the SAC – Inner alignment with outer walkway

A non-islander commented that she uses the walkway but would be happy to walk along the inner alignment. The same sort of positive support was generally received from those living on King's Island but not in St. Mary's Park.

A number of residents, generally living on Munchin's Street, were totally opposed to the inner alignment, citing increased risk of vandalism and burglary, antisocial behaviour and loss of privacy.

One attendee highlighted the heritage of the embankment, and in particular the outer alignment, which has been part of the community for generations.

Another attendee thought the inner walkway would create a trap for dumping.

There has previously been a petition to upgrade the outer walkway.

There was a suggestion for lock gates near the ball alley to regulate flow.

Many people were happy to see the inner alignment, provided the outer walkway was maintained for recreation.

It was noted that trees currently block the view from the outer embankment, and upgrade/maintenance works are urgently needed. It was suggested that this should be a priority

There was confusion from one resident about the extent of the SAC; he thought it would cover the whole of the wetland area and refuted the accuracy of the boundary shown on the mapping.

G1.5.4 Area A5 and A6 - Embankments from Star Rovers and Assumpta Park to Athlunkard Boat Club and walls behind the Boat Club

A couple were concerned that the flow route from the top of the boat club would be completely closed off, whilst still maintaining access to the rear of their property on Athlunkard Road as they have a right of way. They were much reassured by the explanations provided.

Discussion with a representative of Star Rovers highlighted grave concerns about the loss of the two undersized pitches for under 9s. If the astro turf pitch is moved, there may also be problems with the alignment of the floodlights and also proximity of the pitch to the houses was raised as a potential issue. Apparently, this was a reason for selection of the current orientation. Reported that there are over 250 members, with the majority school boys, and the loss of facilities would be hugely detrimental to the community.

It was noted by one attendee that residents to the south of the pitches would object to the fence being removed and having cars close to their homes. However, another attendee thought this would be beneficial as the alleyway is currently closed off and subject to fly tipping, which may be reduced if the fence is taken down.

G1.5.5 Areas A7 to A10 and B1 to B3 - Combination of wall raising and replacement from Sir Harry's Mall, along George's Quay, around Merchant's Quay and to King John's Castle

Consideration to be given to the riverfront from Sarsfield Bridge to Thomond, including a boardwalk connecting St Mary's Park to the city centre. Walkway between O'Dwyers Bridge and the Absolute Hotel was also suggested and supported.

A couple of attendees commented on the importance of facilitating the public realm proposals for Limerick 2030 at the Potato Market.

One attendee talked about the importance of getting the stone finish on the wet-side of the wall right but had no issue with the more modern look on the dry side.

Concern was raised by one attendee about the loss of trees on George's Quay, but most people did not comment on works in this area.

G1.5.6 Impacts away from the island

A couple of attendees raised concerns about flood waters being pushed elsewhere once the defences are in place, and the impact this may have on insurance.

A couple of Corbally residents commented that there was a gap in the defences at Cooney Forecourt, and although a wall had been built, it did not go far enough.

G1.6 General Comments

Some suggestions for the scheme generally were made, including:

- Seats on the embankment to be dedicated in the memory of people
- Risks of antisocial behaviour
- Importance of maintaining the roads during the works, even if they are being used for construction traffic
- Another suggestion was to take Thomond Weir away. This was made by a couple of people, concerned with making the river navigable again
- Linking the walkway to the Slí na Sláinte could be a benefit
- Suggested getting the community to form a charter for the embankment and to start making plans to allocate different areas to different groups
- Suggestion of markets on the embankment in the summer months to encourage non-residents to visit the island
- Promoting the SAC and its wildlife with photographs and awareness raising
- Social clause in the contactors contract and suggested training is started sooner rather than later - Safepass etc could be run at the community centre

- Fishing is carried out by the locals and although the numbers of fish caught vary from year to year, salmon are still caught in the rivers, as are eels, perch and trout
- Mink, rabbits and foxes are found on the embankment
- One resident is concerned about the decline in the number of wintering birds using the SAC, suggesting that the numbers of geese are down this year
- People raised the question about who would maintain the embankments
- One attendee sought confirmation that a pumping station would be included in the design

G1.7 Summary of Outcomes from Public Information Day

Attendance at the PID was good and reflected a wide level of interest in the scheme. The split venue worked well, with the display boards and video display providing good information on the scheme.

The feedback provided on the day, and in following conversations, was useful in developing the flood relief scheme. Most of the attendees were positive about the scheme, although some needed more information before they would be fully supportive of elements, for example in the vicinity of Oliver Plunket Street. Most were supportive of the inner alignment, provided the outer alignment would be maintained for walkway only.

The arrangements at Star Rovers were discussed by most of the project team with various attendees, and the consensus was that loss of amenity, either in size or number of pitches, would not be acceptable.

There was little comment on the walls running from Sir Harry's Mall to the castle, other than a general acceptance that they would provide the required flood defence.

There was a general theme of increased risks of anti-social behaviour and concern about lighting and security was discussed. This suggests wider problems than just associated with the scheme, but does point to the importance of engaging with An Garda Síochána to inform the design and access requirements.

The importance of community engagement through providing training and employment was also highlighted.

G1.8 Follow-up actions

All those who attended and who left an email address were added to the mailing register and an email thanking them for their attendance and providing a link to the project website was sent on 21/12/2017. This followed all posters and the video being uploaded to the website.

From the discussions a number of follow-up actions were identified, as follows:

Table 9: Feedback requiring actions

Actions recorded	Follow up carried out
One attendee requested dimensioned cross section be supplied of the embankment at Oliver Plunket Street	Alignment being further looked at here, so follow up will take place once redesign (if any) has happened
Requested hard copy of drawings	To be advised that hard copies will not be provided, but that all drawings are on the website.
Concern on pushing water onto other flood risk areas. Has the risk analysis been done? Requested more detail of hydraulic analysis. Is report on line?	This has been included in the Options Report and which is now available on-line.
One attendee would appreciate follow up meeting with LCCC (Kieran O'Gorman / Vincent Murray) and OPW etc.	Details provided to LCCC.
Asked for copy of video to be provided by email	Added to email list and post-PID email sent on 21/12/2017, including details of video being uploaded to website.
Will new KI flood defence mean increased flooding on Corbally side of the river? Please email response.	Included in the Options Report, which is now available on-line.
One attendee requested we supply section and elevation view from his property on Lee Estate (by email)	Alignment being further looked at here in conjunction with Star Rovers, so follow up will take place once redesign (if any) has happened.